

PROFESSIONAL MARKET STUDY
FOR THE SUMMERVILLE VILLAS APARTMENTS
A PROPOSED LIHTC/USDA REHAB DEVELOPMENT

LOCATED IN:
SUMMERVILLE, DORCHESTER COUNTY, SC

PREPARED FOR:
FLATIRON PARTNERS, LLC
&
SC STATE HOUSING FINANCE
and DEVELOPMENT AUTHORITY

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MARCH, 2018

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ASSIGNMENT & EXECUTIVE SUMMARY

1. Scope of Work

The proposed LIHTC/USDA rehab multi-family development will target very low to moderate income households in the general population in Summerville and Dorchester County, South Carolina.

The market study assignment was to ascertain market demand for a proposed LIHTC/USDA (family) rehab development known as the Summerville Villas, for Flatiron Partners, LLC and the South Carolina State Housing Finance and Development Authority, under the following scenario:

Project Description

PROPOSED PROJECT PARAMETERS			
Bedroom Mix	# of Units	Unit Size (Net sf)	Unit Size (Gross sf)
1BR/1b	8	622	Na
2BR/1b	24	815	Na
3BR/1b	10	995	Na
Total	42		

Project Rents:

The proposed development will target approximately 20% of the units at 50% or below of area median income (AMI), and approximately 80% of the units at 60% or below of AMI.

PROPOSED PROJECT RENTS @ 50% AMI				
Bedroom Mix	# of Units	Net Rent	Utility Allowance*	Gross Rent
1BR/1b	2	\$525	\$115	\$640
2BR/1b	6	\$574	\$145	\$719
3BR/1b	2	\$607	\$176	\$783

*USDA-RD approved UA's (effective: 1/1/18)

PROPOSED PROJECT RENTS @ 60% AMI				
Bedroom Mix	# of Units	Net Rent	Utility Allowance*	Gross Rent
1BR/1b	6	\$525	\$115	\$640
2BR/1b	18	\$574	\$145	\$719
3BR/1b	8	\$607	\$176	\$783

*USDA-RD approved UA's (effective: 1/1/18)

2a. Average Vacancy Rate for Comparable Market Rate Properties:

- 7.5%

2b. Average Vacancy Rate for LIHTC family Properties:

- 0.6%

3. Capture Rates:

- The capture rates by income segment and bedroom mix are exhibited below and assume a 100% vacant property:

Capture Rates by Bedroom Type & Income Targeting			
Income Targeting	1BR	2BR	3BR
50% AMI	0.7%	1.3%	0.8%
60% AMI	1.3%	2.6%	2.1%

- The overall project capture rate for the proposed LIHTC/USDA family rehab development is estimated at 1.7%.

4. Absorption Rate:

- Based upon: (1) an examination of the rent roll and tenant incomes, (2) an examination of historical occupancy rates, and (3) the retention of: (a) the existing 30-units of deep subsidy rental assistance and (b) the typical number of Section 8 voucher holders at the property, it is estimated that the property will retain at least 80% of its tenant base. The most likely/best case rent-up scenario for the property, were the subject 20% vacant, suggests a 1-month rent-up time period (an average of 8-units per month). Absent the 30-units of rental assistance the estimate is within 4-months.

5. Strength/Depth of Market:

- At the time of the market study, market depth was considered to be very adequate in order to incorporate the proposed LIHTC/USDA family rehab development. The proposed subject net rents are very competitively positioned at all target AMI segments. Section 8 voucher support has both historic and current positive indicators. In addition, the subject site location is considered to be one that will enhance marketability and the rent-up process.

6. Bed Room Mix:

- The subject will offer 1BR, 2BR, and 3BR units. Based upon market findings and capture rate analysis, the proposed bedroom mix is considered to be appropriate. All family household sizes will be targeted, from a one person household to large family households.

7. Long Term Negative Impact:

- In the opinion of the analyst, based upon market findings and interviews with LIHTC and USDA property managers, neither significant short term nor long-term negative impact is to be expected within the PMA LIHTC and USDA market. At the time of the survey, the overall estimated vacancy rate of all surveyed LIHTC-family apartment properties was 0.6%. At the time of the survey, the overall estimated vacancy rate of all surveyed USDA-family apartment properties was 3.6%. All seven surveyed LIHTC-family properties maintain a waiting list, ranging in size between 3 and 80 applications. All three surveyed USDA-family properties maintain a waiting list, ranging in size between 1 and 101 applications. Typical occupancy rates at the surveyed LIHTC and USDA family apartment properties ranged between 98% to 100%. In addition, several of the surveyed LIHTC and USDA-family apartment managers and management firms stated that there is still an unmet need for LIHTC supply in the Summerville market and none express a concern of their respective property coming under negative impact should the proposed subject rehab development proceed forward.

8. Proposed Net Rents & Market Rent Advantage:

- The proposed Summerville Villas net rents at 50% and 60% AMI are very competitively positioned within the Summerville competitive environment.

Percent Rent Advantage follows:

	<u>50% AMI</u>	<u>60% AMI</u>	
1BR/1b:	36.0%	36.0%	
2BR/1b:	37.5%	37.5%	
3BR/1b:	41.0%	41.0%	Overall: 38.2%

9. Recommendation:

- As proposed in the Project Description of this market study, it is of the opinion of the analyst, based upon the findings in the market study, that Summerville Villas (a proposed LIHTC/USDA family rehab development) proceed forward with the development process as presently configured.

2018 EXHIBIT S – 2 SCSHFDA PRIMARY MARKET AREA ANALYSIS SUMMARY:

Development Name:	Summerville Villas Apartments	Total # Units:	42
Location:	Summerville, SC	# LIHTC Units:	42
PMA Boundary:	N: Berkeley County & I-26; E: North Charleston & Charleston County; S: remainder of Dorchester County; W: remainder of Dorchester County		
Development Type:	<input type="checkbox"/> x <input type="checkbox"/> Family <input type="checkbox"/> Older Persons	Farthest Boundary Distance to Subject:	6 miles

RENTAL HOUSING STOCK (found on page 57-59)

Type	# Properties	Total Units	Vacant Units	Average Occupancy
All Rental Housing	24	3,522	168	95.2%
Market-Rate Housing	14	2,884	160	94.5%
Assisted/Subsidized Housing not to include LIHTC	3	138	5	96.4%
LIHTC (All that are stabilized) *	7	500	3	99.4%
Stabilized Comps**	8	1,010	70	93.1%
Non-stabilized Comps				%

* Stabilized occupancy of at least 93% (Excludes projects still in initial lease up).

** Comps are those comparable to the subject and those that compete at nearly the same rent levels and tenant profile, such as age, family and income.

Subject Development					Adjusted Market Rent			Highest Unadjusted Comp Rent	
# Units	# Bedrooms	Baths	Size (SF)	Proposed Tenant Rent	Per Unit	Per SF	Advantage	Per Unit	Per SF
8	1	1	622	\$525	\$825	\$1.11	36%	\$1,065	\$1.35
24	2	1	815	\$574	\$920	\$0.96	37.5%	\$1,280	\$1.11
10	3	1	995	\$607	\$1,025	\$0.85	41%	\$1,350	\$0.91
				\$	\$	\$	%	\$	\$
				\$	\$	\$	%	\$	\$
Gross Potential Rent Monthly*				\$	\$		38.2%		

*Market Advantage is calculated using the following formula: (Gross Adjusted Market Rent (minus) Gross Proposed Tenant Rent) (divided by) Gross Adjusted Market Rent. The calculation should be expressed as a percentage and rounded to two decimal points. The Rent Calculation Excel Worksheet must be provided with the Exhibit S-2 form.

DEMOGRAPHIC DATA (found on page 35-37)

	2010	2017	2020
Renter Households	%	10,173 28.51%	10,727 28.46%
Income-Qualified Renter HHs (LIHTC)	%	3,229 31.74%	3,316 30.91%
Income-Qualified Renter HHs (MR)	%		%

TARGETED INCOME-QUALIFIED RENTER HOUSEHOLD DEMAND (found on page 46)

Type of Demand	50%	60%	Market-rate	Other: __	Other: __	Overall
Renter Household Growth	61	111				172
Existing Households (Overburd + Substand)	935	1,425				2,360
Homeowner conversion (Seniors)						
Other:						
Less Comparable/Competitive Supply	0	0				0
Net Income-qualified Renter HHs	996	1,536				2,532

CAPTURE RATES (found on page 47)

Targeted Population	50%	60%	Market-rate	Other: __	Other: __	Overall
Capture Rate	1.0%	2.1%				1.7%

ABSORPTION RATE (found on page 50)

Absorption Period 1 to 4_months

2018 S-2 RENT CALCULATION WORKSHEET

# Units	Bedroom Type	Proposed Tenant Paid Rent	Gross Proposed Tenant Rent	Adjusted Market Rent	Gross Adjusted Market Rent	Tax Credit Gross Rent Advantage
	0 BR		\$0		\$0	
	0 BR		\$0		\$0	
	0 BR		\$0		\$0	
8	1 BR	\$525	\$4,200	\$825	\$6,600	
	1 BR		\$0		\$0	
	1 BR		\$0		\$0	
24	2 BR	\$574	\$13,776	\$920	\$22,080	
	2 BR		\$0		\$0	
	2 BR		\$0		\$0	
10	3 BR	\$607	\$6,070	\$1,025	\$10,250	
	3 BR		\$0		\$0	
	3 BR		\$0		\$0	
	4 BR		\$0		\$0	
	4 BR		\$0		\$0	
	4 BR		\$0		\$0	
Totals	42		\$24,046		\$38,930	38.23%

SECTION A
PROJECTION DESCRIPTION

The proposed low to moderate income Low Income Housing Tax Credit (LIHTC) multi-family rehab development will target the general population in the Summerville area of Dorchester County, South Carolina.

Development Location:

Summerville Villas Apartments is located at 350 Luden Drive. It is approximately .5 miles south of US 17A in the southern portion of Summerville, within the city limits.

Construction Type:

The market study assignment was to ascertain market demand for a proposed LIHTC/USDA (family) rehab development known as the Summerville Villas, for Flatiron Partners, LLC and the South Carolina State Housing Finance and Development Authority, under the following scenario:

Project Description

PROPOSED PROJECT PARAMETERS			
Bedroom Mix	# of Units	Unit Size (Heated sf)	Unit Size (Gross sf)
1BR/1b	8	622	Na
2BR/1b	24	815	Na
3BR/1b	10	995	Na
Total	42		

Development Profile & Structure Type/Design:

The proposed rehab rental development design will comprise 9 one-story and two-story walk-up residential buildings. The development will include a separate building which will include a manager's office, central laundry, computer room, and community space.

The Scope of Work is provided in the Appendix of this market study. The Scope of Work was reviewed by the market analyst. It includes the proposed recommended changes to the current project unit and development amenity package. Specific recommendations are made regarding site improvements, building exterior improvements, apartment unit improvements, and the community building improvements.

Occupancy Type:

The proposed *Occupancy Type* is **General Population** (LIHTC-family, non age restricted).

Project Rents:

The proposed development will target approximately 20% of the units at 50% or below of area median income (AMI), and approximately 80% of the units at 60% or below of AMI.

PROPOSED PROJECT RENTS @ 50% AMI				
Bedroom Mix	# of Units	Net Rent	Utility Allowance*	Gross Rent
1BR/1b	2	\$525	\$115	\$640
2BR/1b	6	\$574	\$145	\$719
3BR/1b	2	\$607	\$176	\$783

PROPOSED PROJECT RENTS @ 60% AMI				
Bedroom Mix	# of Units	Net Rent	Utility Allowance*	Gross Rent
1BR/1b	6	\$525	\$115	\$640
2BR/1b	18	\$574	\$145	\$719
3BR/1b	8	\$607	\$176	\$783

*USDA-RD approved UA's (effective: 1/1/18)

Utilities:

The tenant will be responsible for water, sewer, electric for heat, hot water, cooking and general purposes. The owner will provide trash removal and pest control. Utility estimates approved by USDA-RD, with an effective date of 1/1/2018 (see Appendix).

Rental Assistance:

The proposed rehab development will provide 30-units of USDA-RD Section 515 deep subsidy rental assistance (RA).

Project Amenity Package

The development will include the following amenity package:

Unit Amenities*

- range/microwave/hood
- dishwasher
- central air
- smoke alarms
- ceiling fan
- refrigerator w/ice maker*
- garbage disposal
- carpet & vinyl laminate flooring
- cable ready & internet ready
- mini-blinds

*Energy Star compliant

Development Amenities

- on-site mgmt office
- central laundry
- community room
- gazebo w/benches

- playground
- walking trail
- equipped computer room
- video security system

Placed in Service Date

The estimated year that the Summerville Villas Apartments will be placed in service as a renovated property is late 2019 or early 2020.

Architectural Plans

The architectural firm for the proposed development is Don Harwood Architects, LLC. At the time of the market study, the floor plans and elevations had not been completed.

Current Project Parameters for Summerville Villas are:

Summerville Villas, 350 Luden Dr (843) 871-6823
Type: USDA-RD fm **Date:** February 21, 2018
Date Built: 1984 **Condition:** Fair to Good

<u>Unit Type</u>	<u>Number</u>	<u>Basic Rent</u>	<u>Note Rent</u>	<u>Utility Allowance</u>	<u>Unit Size sf</u>	<u>Vacant</u>
1BR/1b	8	\$543	\$682	\$115	622	1
2BR/1b	24	\$574	\$713	\$145	815	3
3BR/1b	10	\$607	\$746	\$176	995	0
Total	42 (30-RA)					4

Typical Occupancy Rate: 96%-97% **Waiting List:** Yes (17)
Security Deposit: \$250 **Concessions:** No
Utilities Included: trash removal

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	No	Carpeting	Yes
Disposal	No	Window Treatment	Yes
W/D Hook Up	No	Patio/Balcony	No

Amenities - Project

On-Site Mgmt	Yes (office)	Pool	No
Laundry Room	Yes	Tennis	No
Fitness Ctr	No	Recreation Area	Yes
Storage	No	Picnic Area	Yes

Design: 1 story & 2 story

Tenant Gross Income, Rent Roll

Based upon a February 2, 2018, Property Tax Credit Compliance Report, tenant gross income ranged between \$4,800 and \$40,290. The estimated average gross income was \$14,986 and the estimated median gross income was \$12,516. The most current available rent roll is provided in the Appendix.

SECTION B
SITE & NEIGHBORHOOD
EVALUATION

The site of the proposed LIHTC/USDA rehab apartment development, is located at 350 Luden Drive. The site is located approximately .5 miles south of US 17A in the southern portion of Summerville, within the city limits. Specifically, the site is located within Census Tract 105.05.

The site and market area were visited on February 23, 2018.

Note: The site is not located within a Qualified Census Tract (QCT).

Site & Neighborhood Characteristics

Street and highway accessibility are very good relative to the site. Ready access from the site is available to the major retail trade areas, public schools, local health care facilities, and major employers. Access to all major facilities can be attained within a 10-minute drive. Access to the site is off Luden Drive, which is a short, secondary connector that links with Boonehill Road (US 17A) to the north, and County Road 18-562 to the south.

Ingress/Egress/Visibility

The traffic density on Luden Drive is estimated to be light to medium, with a speed limit of 35 miles per hour (in the vicinity of the site). The site in relation to the subject property and Luden Drive is very agreeable to signage and offers excellent drive-by visibility.

The approximately 5.1-acre, polygon shaped tract presently comprises the location of the subject, the Summerville Villas Apartments. For the most part the tract is relatively flat.

The site is not located in a flood plain. Source: FEMA website (www:msc.fema.gov), Map Number 4500680245D, Panel 245 of 330, Effective Date: April 15, 1994. All public utility services are available to the tract and excess capacity exists. At present, the tract is zoned R-6, Multi-Family. The surrounding land use and land use designations around the site are detailed below:

Direction	Existing Land Use	Designation
North	Vacant.	R-2
East	Vacant	County
South	Residential, followed by 2 elementary schools	R-6 & PUD
West	Residential	R-2

Source: Town of Summerville, GIS Data Report.

The potential for acceptable curb appeal to the site/subject is considered to be excellent. The surrounding landscape in the vicinity of the site offers neither distinctive views nor unsightly views of the surrounding area. The surrounding areas to the site appear to be void of any major negative externalities: including noxious odors, close proximity to power lines, cemeteries, and property boundaries with rail lines.

Infrastructure Development

At the time of the market study, there was no on-going infrastructure development in the immediate vicinity of the site. However future land use plans calls for Luden Drive to be widened and for replacing the bridge over the Sawmill Branch Canal (north of the subject property). Project meetings regarding these issues have already occurred and further decisions are still pending. Source: Mr. Russ Cornette, Town Engineer and Ms Pamela Wike, Planning Assistant, Summerville, SC, (843) 851-4214, February 14, 2018.

Crime & Perceptions of Crime

The overall setting of the site is considered to be one that is very acceptable for continued residential use and commercial development within the present neighborhood setting. The site and the immediate surrounding area is not considered to be one that comprises a "high crime" neighborhood. The most recent crime rate data for Summerville reported by the FBI revealed that violent crime and property crime rate for Summerville was relatively low, particularly for violent Crime (homicide, rape, robbery and assault).

In 2015, www.safewise.com named Summerville as number 27 among their list of the 30 safest cities in South Carolina. The website stated that *"Summerville is just minutes from Charleston, and located in one of nation's fastest growing regions. Since 2000, the city's population increased from roughly 29,000 to 47,000, making it the second most populated city on our list. Rapid growth like this often results in high incidents of crime, but that's not the case in Summerville. According to the FBI Crime Report, the city's violent crime rate is nearly 40 percent lower than the typical American community."*

Overall, between 2015 and 2016 violent crime in Summerville increased by 40.4%, mainly due to an increase in the number of reported assaults. It should be noted that the actual number of such crimes in 2016 was extremely low at 160 overall. In areas with a low number of crimes, any increase results in a relatively large percentage change. Property crimes increased by 5.3% in Summerville between 2015 and 2016. The overall crime rate for Summerville was 3,912 per 100,000 population, slightly higher than the statewide average of 3,746.

Summerville			
Type of Offence	2015	2016	Change
Homicide	3	5	2
Rape	14	14	0
Robbery	21	29	8
Assault	76	112	36
Burglary	224	188	-36
Larceny	1,368	1,509	141
Motor Vehicle Theft	120	105	-15
Summerville Total	1,826	1,962	136

Source: FBI, Uniform Crime Reports

Positive & Negative Attributes

Overall, the field research revealed the following charted strengths and weaknesses of the of the proposed site. In the opinion of the analyst, the site is considered to be very appropriate as a LIHTC/USDA multi-family rehab development targeting the general population.

SITE ATTRIBUTES:	
STRENGTHS	WEAKNESSES
Located within a mostly residential development area with nearby institutional use	
Very good linkages to the area road system	
Nearby road speed and noise is acceptable, and excellent visibility regarding curb appeal and signage placement	
Good proximity to two elementary schools, a Bi-Lo grocery, a high school, and area employment opportunities	

Note: The pictures on the following pages are of the site and surrounding uses.



(1) Site entrance off Luden Dr, east to west.



(2) Site entrance right, off Luden Dr, north to south.



(3) Site entrance left, off Luden Dr, south to north.



(4) Summerville Villas signage.



(5) Summerville Villas office.



(6) Summerville Villas Tot Lot.



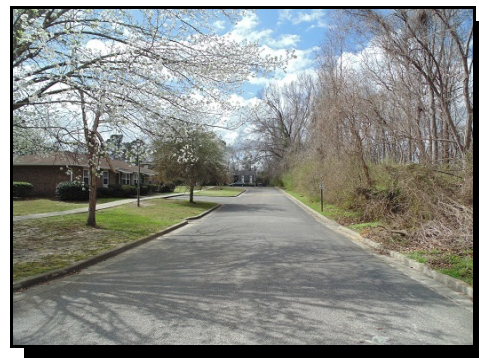
(7) Summerville Villas play ground.



(8) 1-story buildings.



(9) 2-story building.



(10) Alternate entrance, off Luden Dr, east to west.

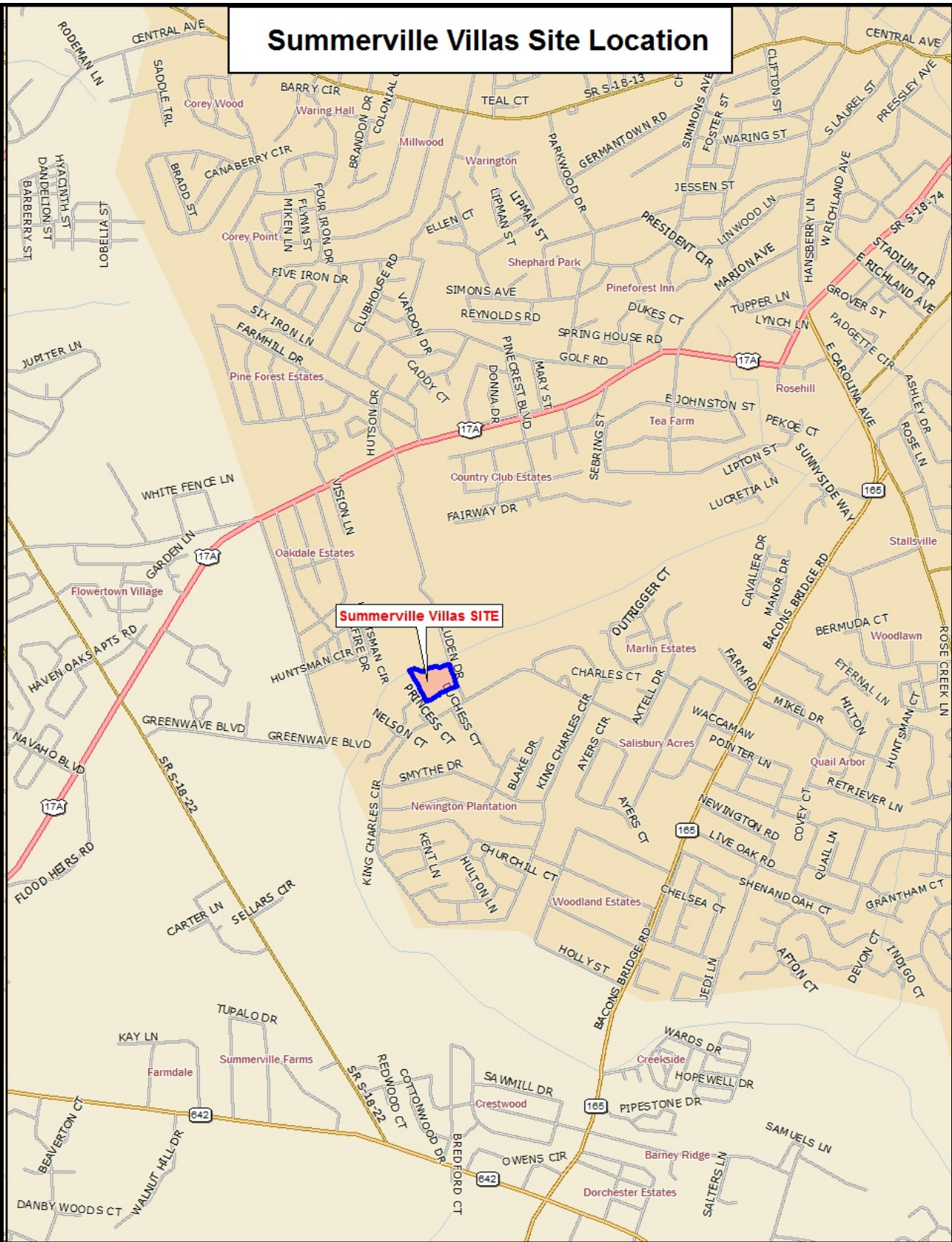


(11) 1-story buildings.



(12) 2-story buildings.

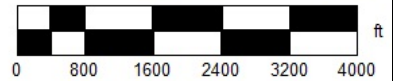
Summerville Villas Site Location



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Access to Services

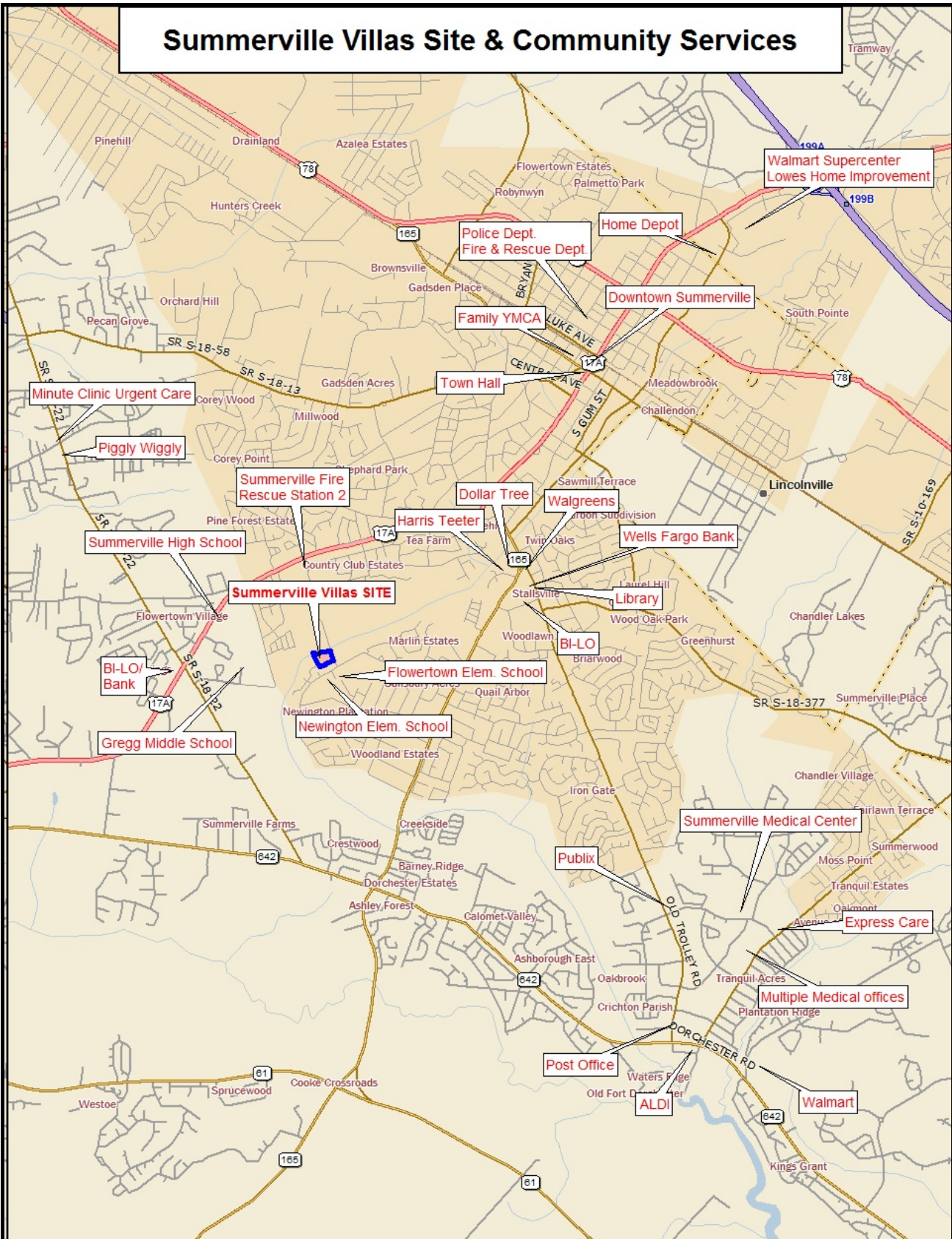
The subject is accessible to schools, major employers, shopping, healthcare services, retail and social services, recreational areas, and the local and regional highway system. Summerville does not offer public bus transportation. (See Site and Facilities Map, next page.)

Distances from the site to community services are exhibited below:

Points of Interest	Distance from Site*
Flowertown Elementary	.2
Newington Elementary	.2
Summerville Fire & Rescue 2	.7
Summerville High School	1.5
BI-LO (east)	1.8
BI-LO & Bank (west)	1.9
Harris Teeter	2.0
Dollar Tree	2.0
Walgreens	2.0
Wells Fargo Bank	2.0
Library	2.0
Gregg Middle School	2.2
Piggly Wiggly	3.0
Minute Clinic	3.1
Town Hall	3.2
Family YMCA	3.2
Downtown Summerville	3.3
Police/Fire & Rescue Dept.	3.6
Publix	3.9
Summerville Medical Center	4.3
Post Office	4.6
Walmart Supercenter (north)	4.8
Walmart	5.4

* in tenths of miles

Summerville Villas Site & Community Services



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SECTION C

MARKET AREA DESCRIPTION

The definition of a **market area** for any real estate use is generally limited to the geographic area from which consumers will consider the available alternatives to be relatively equal. This process implicitly and explicitly **considers** the

location and **proximity** and **scale** of competitive options. Frequently, both a **primary** and a **secondary area** are **geographically defined**. This is an area where consumers will have the greatest propensity to choose a specific product at a specific location, and a secondary area from which consumers are less likely to choose the product but the area will still generate significant demand.

The field research process was used in order to establish the geographic delineation of the Primary Market Area (PMA) and Secondary Market Area (SMA). The process included the recording of spatial activities and time-distance boundary analysis. These were used to determine the relationship of the location of the site and specific subject property to other potential alternative geographic choices. The field research process was then reconciled with demographic data by geography, as well as local interviews with key respondents regarding market specific input relating to market area delineation.

In addition, managers of existing LIHTC and USDA family properties were surveyed, as to where the majority of their existing tenants previously resided. **The information provided by the Summerville Villas management firm (GEM Management) was of particular importance. Management stated that the majority of the existing tenants came from Summerville and a 5 to 10 mile surrounding area.**

Primary Market Area

Based on field research in Summerville, North Charleston, Charleston and Dorchester Counties, along with an assessment of the competitive environment, transportation and employment patterns, the site's location, physical, natural and political barriers - the Primary Market Area (PMA) for the proposed multi-family development consists of the following 2010 census tracts:

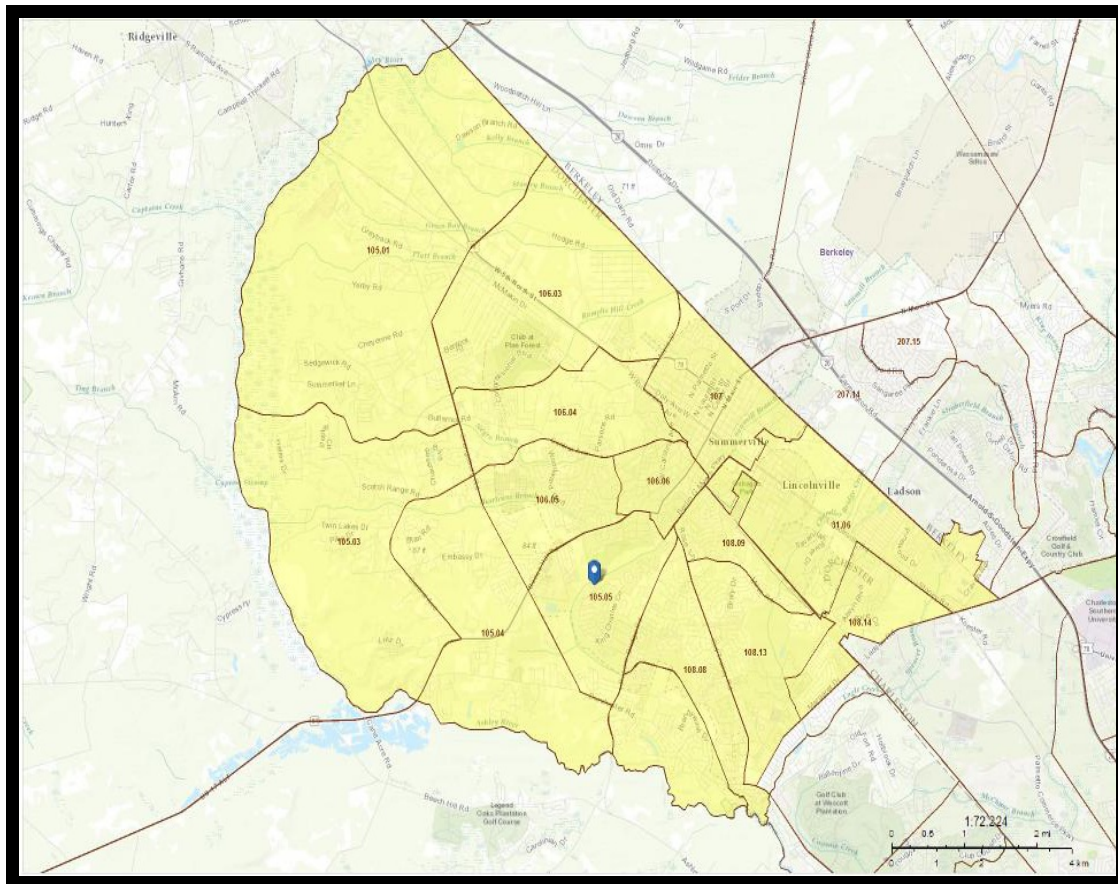
- 105.01 105.03, 105.04, 105.05, 106.03,
- 106.04, 106.05, 106.06, 107, 108.07,
- 108.08, 108.09, 108.13, 108.14, and 31.06.

Transportation access to the site and PMA is excellent. The major east/west transportation corridor in the PMA is US 17A. The major north/south transportation corridors in the PMA are I-26, and US Highway 78.

The PMA is bounded as follows:

Direction	Boundary	Distance from Subject
North	Berkeley County & I-26	5 miles
East	North Charleston & Charleston County	6 miles
South	remainder of Dorchester County	3 miles
West	remainder of Dorchester County	5 to 6 miles

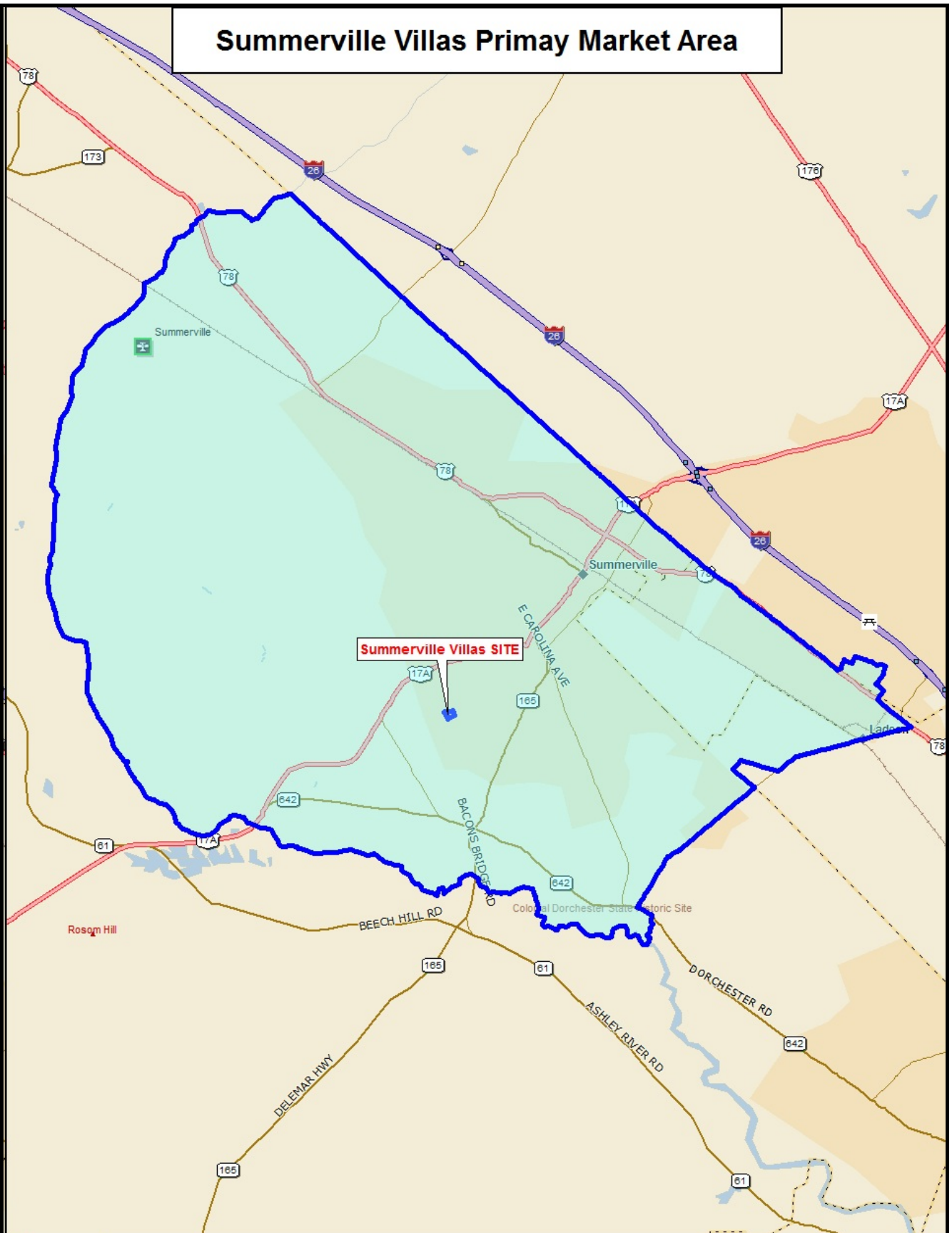
2010 Census Tracts



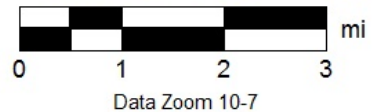
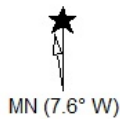
Secondary Market Area

The Secondary Market Area (SMA) consists of that area beyond the Primary Market Area, principally the remainder of Dorchester County, and portions of Berkeley and Charleston Counties. However, in order to remain conservative the demand methodology excluded any potential demand from a secondary market area.

Summerville Villas Primay Market Area



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Race: 2010

The most recent statistics on race for the census tract in which the proposed development is located (Census Tract 105.05) within the PMA is exhibited below:

Race	Number	Percent
Total Population	6,494	100.0
One Race	6,277	96.7
White	5,108	78.7
Black or African American	974	15.0
American Indian and Alaska Native	29	0.4
Asian	72	1.1
Native Hawaiian and Other Pacific Islander	7	0.1
Some Other Race	87	1.3
Two or More Races	217	3.3
Race & Hispanic or Latino	Number	Percent
Total Population	6,494	100.0
One Race	6,277	96.7
Hispanic or Latino	240	3.7
Not Hispanic or Latino	6,037	93.0
Two or More Races	217	3.3
Hispanic or Latino	24	0.4
Not Hispanic or Latino	193	3.0

Source: 2010 Census of Population, South Carolina, Table QT-P3.

Pro Forma Rents vs Affordability

The proposed pro forma rents will be affordable to the subject tenant population. The property offers 30-units with deep subsidy rental assistance. In addition, the proposed rents by AMI are below the current FMR's by bedroom type which allow for Section 8 Housing Choice Vouchers to be placed at the subject property. Also the overall subject property market rent advantage is 38.2%.

SECTION D

MARKET AREA ECONOMY

Analysis of the economic base and the labor and job formation base of the local labor market area is critical to the potential demand for residential growth in any market. The economic trends reflect the ability of the area

to create and sustain growth, and job formation is typically the primary motivation for positive net in-migration. Employment trends reflect the economic health of the market, as well as the potential for sustained growth. Changes in family households reflect a fairly direct relationship with employment growth, and the employment data reflect the vitality and stability of the area for growth and development in general.

Tables 1 through 5 exhibit labor force trends by: (1) civilian labor force employment, (2) covered employment, (3) changes in covered employment by sector, and (4) changes in average annual weekly wages, for Dorchester County. Also, exhibited are the major employers for the immediate labor market area. A summary analysis is provided at the end of this section.

Table 1A			
Civilian Labor Force, Dorchester County: 2007, 2016 and 2017			
	2007	2016	2017
Civilian Labor Force	62,138	74,457	75,601
Employment	59,419	71,193	72,816
Unemployment	2,719	3,264	2,785
Unemployment Rate	4.4%	4.4%	3.7%

Table 1B				
Change in Employment, Dorchester County				
Years	# Total	# Annual*	% Total	% Annual*
2007 - 2009	- 1,618	- 809	- 2.72	- 1.37
2010 - 2015	+ 9,424	+1,885	+15.89	+ 2.99
2016 - 2017	+ 1,623	Na	+ 2.28	Na

* Rounded Na - Not applicable

Sources: South Carolina Labor Force Estimates, 2007 - 2017. SC Department of Employment and Workforce, Labor Market Information Division. Koontz and Salinger. March, 2018.

Table 2 exhibits the annual change in civilian labor force employment in Dorchester County between 2007 and 2017. Also, exhibited are unemployment rates for the County, State and Nation.

Table 2							
Change in Labor Force: 2007 - 2017							
	Dorchester County					SC	US
Year	Labor Force	Employed	Change	Unemployed	Rate	Rate	Rate
2007	62,138	59,419	-----	2,719	4.4%	5.7%	4.6%
2008	63,518	59,928	509	3,590	5.7%	6.8%	5.8%
2009	64,044	57,801	(2,127)	6,243	9.7%	11.2%	9.3%
2010	65,563	59,321	1,520	6,242	9.5%	11.2%	9.6%
2011	67,006	60,998	1,677	6,008	9.0%	10.6%	8.9%
2012	68,192	62,864	1,866	5,328	7.8%	9.2%	8.1%
2013	68,720	64,174	1,310	4,546	6.6%	7.6%	7.4%
2014	70,334	66,240	2,066	4,094	5.8%	6.4%	6.2%
2015	72,746	68,745	2,505	4,001	5.5%	6.0%	5.3%
2016	74,457	71,193	2,448	3,264	4.4%	4.8%	4.9%
2017	75,601	72,816	1,623	2,785	3.7%	4.1%	4.1%
Month							
1/2017	75,232	71,993	-----	3,239	4.3%	4.9%	4.8%
2/2017	75,605	72,542	549	3,063	4.1%	4.6%	4.7%
3/2017	76,073	73,327	785	2,746	3.6%	4.0%	4.5%
4/2017	75,494	73,035	(292)	2,459	3.3%	3.6%	4.5%
5/2017	75,447	73,003	(32)	2,444	3.2%	3.6%	4.3%
6/2017	76,242	73,358	335	2,884	3.8%	4.2%	4.4%
7/2017	76,484	73,569	211	2,915	3.8%	4.4%	4.3%
8/2017	75,843	72,847	(722)	2,996	4.0%	4.5%	4.4%
9/2017	75,448	72,849	2	2,599	3.4%	3.8%	4.2%
10/2017	75,435	72,804	(45)	2,631	3.5%	3.9%	4.1%
11/2017	75,188	72,533	(271)	2,656	3.5%	4.0%	4.1%
12/2017	74,722	71,931	(602)	2,791	3.7%	4.3%	4.1%

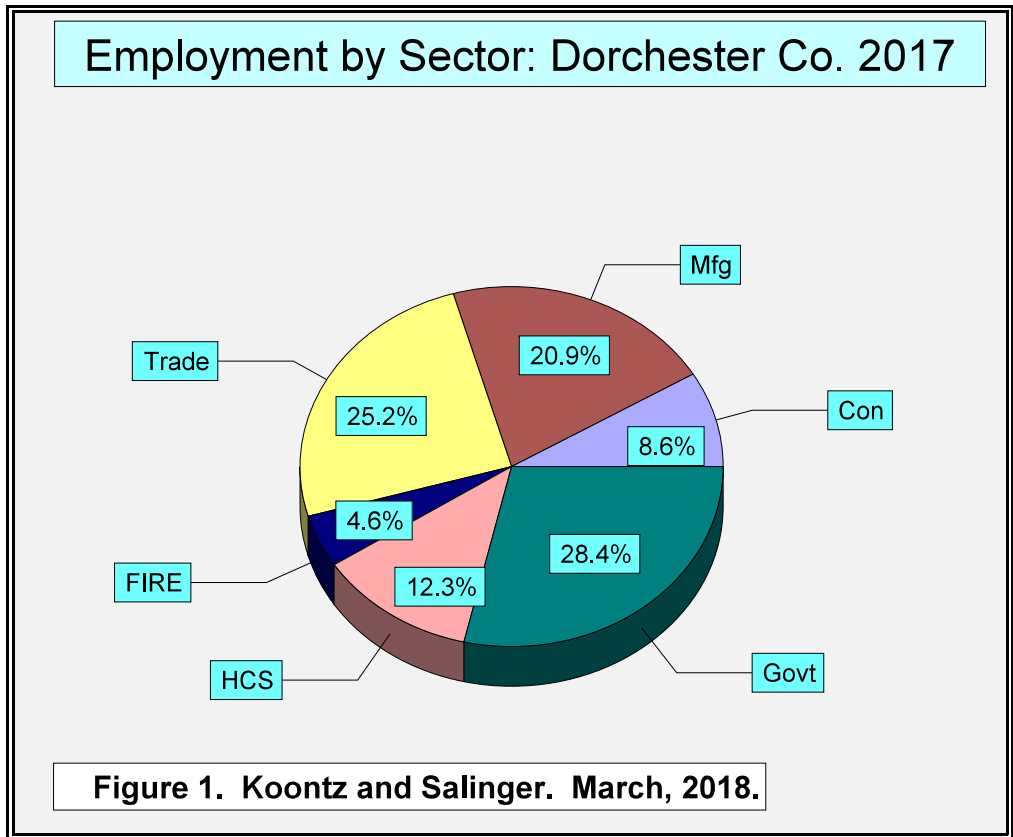
Sources: South Carolina Labor Force Estimates, 2007 - 2017. SC Department of Employment and Workforce, Labor Market Information Division. Koontz and Salinger. March, 2018.

Table 3 exhibits average monthly employment by sector in Dorchester County between the 2nd Quarter of 2016 and 2017.

Year	Total	Con	Mfg	HCS	T	AFS	FIRE	Gov
2016	33,435	2,024	4,522	2,976	5,472	3,917	997	6,457
2017	34,718	1,998	4,854	2,856	5,836	4,103	1,059	6,599
16-17 # Ch.	+1,265	- 34	+ 332	- 120	+ 364	+ 186	+ 62	+ 142
16-17 % Ch.	+ 3.8	- 1.7	+ 7.3	- 4.0	+ 6.7	+ 4.7	+6.2	+ 2.2

Note: Con - Construction; Mfg - Manufacturing; HCS - Health Care Services; T - Wholesale and Retail Trade; FIRE - Finance, Insurance, and Real Estate; Gov - Federal, State & Local; AFS - Accommodation and Food Services

Figure 1 exhibits employment by sector in Dorchester County in the 2nd Quarter of 2017. The top employment sectors are: service, trade, government and manufacturing. The forecast for 2018, is for the manufacturing sector to increase, and the trade and service sectors to increase.



Sources: SC Department of Employment and Workforce, 2016 and 2017.
Koontz and Salinger. March, 2018.

Table 4 exhibits the annual change in covered employment in Dorchester County between 2002 and the 1st and 2nd Quarters of 2017. Covered employment data differs from civilian labor force data in that it is based on at-place employment within a specific geography. In addition, the data set consists of most full and part-time, private and government, wage and salary workers.

<p style="text-align: center;">Table 4</p> <p style="text-align: center;">Change in Covered Employment: 2002 - 2017</p>		
Year	Employed	Change
2002	28,071	-----
2003	28,638	567
2004	29,275	637
2005	29,788	513
2006	30,343	555
2007	30,807	464
2008	30,605	(202)
2009	28,403	(2,202)
2010	28,114	(289)
2011	28,783	669
2012	29,257	474
2013	29,942	685
2014	30,848	906
2015	31,926	1,078
2016	33,280	1,354
2017 1 st Q	33,695	-----
2017 2 nd Q	34,718	1,023

Sources: SC Department of Employment and Workforce.
Koontz and Salinger. March, 2018.

Commuting











Data from the 2012-2016 American Community Survey (ACS) indicates that some 42.1% of the employed workforce living in the Summerville PMA work in their county of residence (Dorchester County or Charleston County). Roughly 56.7% of employed PMA residents have jobs in another county in South Carolina; the balance (1.2%) commute to other states.

For Dorchester County as a whole, some 37.3% of employed residents work within the County and 61.4% work in another county in South Carolina. Only 1.3% work in another state. The average travel time to work for residents of Dorchester County is 28.1 minutes. Commuting times for residents of the fifteen Census Tracts which comprise the PMA ranges from 24.3 to 33.1 minutes, and averages roughly 28.5 minutes.

The Summerville PMA provides jobs for a number of residents of surrounding counties. The following table indicates the number of in-commuters based on 2015 data from the Census Bureau. As noted, some 44.8% of jobs within the PMA are held by residents of Dorchester County; a further 37.6% are held by residents of Berkeley County and Charleston County.

Source: US Census Bureau, 2012-2016 American Community Survey

Jobs Counts by Counties Where Workers Live - All Jobs

	2015	
	Count	Share
All Counties	18,533	100.0%
 Dorchester County, SC	8,300	44.8%
 Berkeley County, SC	3,702	20.0%
 Charleston County, SC	3,258	17.6%
 Colleton County, SC	459	2.5%
 Orangeburg County, SC	356	1.9%
 Horry County, SC	280	1.5%
 Richland County, SC	255	1.4%
 Beaufort County, SC	210	1.1%
 Lexington County, SC	172	0.9%
 Georgetown County, SC	140	0.8%
All Other Locations	1,401	7.6%

Jobs Counts by Counties Where Workers are Employed - All Jobs











	2015	
	Count	Share
All Counties	38,482	100.0%
 Charleston County, SC	17,443	45.3%
 Dorchester County, SC	8,822	22.9%
 Berkeley County, SC	5,173	13.4%
 Richland County, SC	1,293	3.4%
 Lexington County, SC	650	1.7%
 Beaufort County, SC	560	1.5%
 Greenville County, SC	536	1.4%
 Orangeburg County, SC	430	1.1%
 Horry County, SC	338	0.9%
 Colleton County, SC	331	0.9%
All Other Locations	2,906	7.6%

Table 5, exhibits average annual weekly wages in the 2nd Quarter of 2016 and 2017 in the major employment sectors in Dorchester County. It is estimated that the majority of workers in the service and trade sectors (excluding accommodation and food service workers) in 2018 will have average weekly wages between \$485 and \$1,200. Workers in the accommodation and food service sectors in 2018 will have average weekly wages in the vicinity of \$310.

Table 5				
Average Annual Weekly Wages, 2nd Quarter 2016 and 2017				
Dorchester County				
Employment Sector	2016	2017	% Numerical Change	Annual Rate of Change
Total	\$ 698	\$ 712	+ 14	+ 2.0
Construction	\$ 814	\$ 835	+ 21	+ 2.6
Manufacturing	\$1254	\$1296	+ 42	+ 3.3
Wholesale Trade	\$ 956	\$1045	+ 89	+ 9.3
Retail Trade	\$ 460	\$ 479	+ 19	+ 4.1
Finance & Insurance	\$ 917	\$ 937	+ 20	+ 2.2
Real Estate & Leasing	\$ 671	\$ 634	- 37	- 5.5
Administrative Services	\$ 578	\$ 608	+ 30	+ 5.2
Professional Services	\$1370	\$ 890	-480	-35.0
Health Care Services	\$ 622	\$ 635	+ 13	+ 2.1
Leisure & Hospitality	\$ 290	\$ 299	+ 9	+ 3.1
Federal Government	\$ 908	\$ 901	- 7	- 0.8
State Government	\$ 689	\$ 715	+ 26	+ 3.8
Local Government	\$ 668	\$ 686	+ 18	+ 2.7

Sources: SC Department of Employment and Workforce, Covered Employment, Wages and Contributions, 2016 and 2017.

Koontz and Salinger. March, 2018.

Major Employers

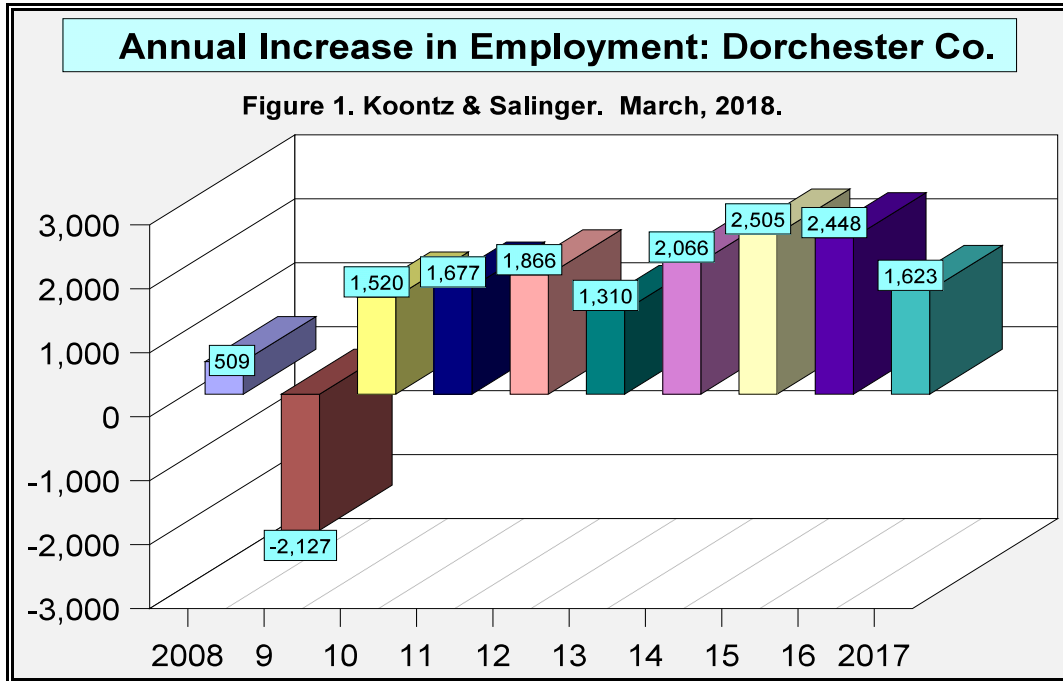
The major employers in the Charleston, SC Metro Area are listed in Table 6.

Table 6		
Major Employers		
Firm	Product/Service	Number of Employees
Joint Base Charleston	Area US Military Commands	22,000
Medical University of SC	Healthcare	13,000
Boeing	Aircraft Manufacturing	8,200
Charleston County Schools	Education	6,500
Roper St Francis Healthcare	Hospitals	5,500
Berkeley County Schools	Education	4,300
Dorchester County Schools	Education	3,500
JEM Restaurant Group	Taco Bell & Pizza Hut	1,000
Walmart	Retail	2,300
Robert Bosch Corp.	Antilock Brake Systems	1,800
Charleston County	Government	2,400
Trident Health System	Healthcare	2,000
College of Charleston	Education	2,200
SAIC	System Engineering	1,500
Kiawah Island Resort	Resort	1,500
Nucor Steel	Manufacturing	1,000
Blackbaud	Computer Software Development	1,300
Publix	Retail	1,200
Verizon Wireless	Call Center	1,250
Santee Cooper	Utility	1,150
US Postal Service	Postal Service	2,000
Berkeley County	Government	1,200
KapStone Paper	Paper & Packaging	1,030
Bi-Lo Stores	Retail	1,200

Source: Center for Business Research, Charleston Metro Chamber of Commerce

SUMMARY

The economic situation for Dorchester County is statistically represented by employment activity, both in workers and jobs. As represented in Tables 1 and 2, Dorchester County experienced employment losses in 2009. Like much of the state and nation, very significant employment losses were exhibited in 2009, followed by gains in each year since 2010. Between 2010 and 2016, the overall local economy improved significantly and has continued since despite the reduction in the local labor force participation rate. This resulted in a reduction of the unemployment rate to less than 5% in the latter part of 2015, and a further reduction to 3.7% in 2017.



As represented in Figure 1 (and Table 1B), between 2010 and 2015, the average increase in employment was approximately +1,885 workers or +2.99% per year in Dorchester County. The rate of employment change between 2016 and 2017 was very significant at +1,623 workers, or by +2.28%.

Monthly unemployment rates in 2016 and 2017 were much improved when compared to the 2010 to 2012 period. Monthly unemployment rates in 2017 remained very low (in the 3.2% to 4.3% range), and for the most part improved on a month to month basis.

The National forecast for 2018 (at present) is for the unemployment rate to approximate 3.5% to 4%. Typically, during the last three years, the overall unemployment rate in Dorchester County has been below the state average unemployment rates and more comparable to the national average unemployment rates. The annual unemployment rate in 2018 in Dorchester County is forecasted to continue to decline, to the vicinity of 3.5% (on an annual basis) and improving on a relative year to year basis.

Dorchester County Economic Development is the lead economic development agency for Summerville and Dorchester County. The City of Summerville also has an economic development department which engages in a variety of activities and programs designed to obtain a healthy balance of strategic economic growth and improved quality-of-life. This is achieved by facilitating quality private development and redevelopment, coordinating with community partners to support business growth, pursuing annexation opportunities, and improving access to our community's unique historic and natural resources.

Given the location with respect to Charleston County and Berkeley County, much of the economic development activity in the entire metro area has a regional focus, given that investment in one area benefits the entire region.

Announcements of new and expanding businesses in 2017 included the following:

- On September 9, 2017, Thrace-LINQ, a global supplier of fabrics for the textile industry, announced an expansion of its Dorchester County operations. The \$9 million investment is expected to create at least 10 new jobs.
- On August 22, 2017, Sportsman Boats Manufacturing, a provider of premium boats, announced that they will invest \$3.5 million to expand the existing manufacturing center in Summerville. The company will be adding 70,000 square feet of production space to its existing facility to accommodate the growth of its upholstery, welding and small part fabrication operations and plans create 100 new jobs.
- On July 20, 2017 IFA, a manufacturer of propshafts for passenger cars and light commercial vehicles announced that they will be constructing a new 234,000-square-foot facility in Summerville. The new building will enable IFA to add constant-velocity joint (CVJ) manufacturing to its North American business portfolio. The \$69 million investment will create 120 new jobs, and hiring for the new positions is projected to begin in the second quarter of 2018.
- On June 15, 2017, James Hardie Building Products, Inc., a leading building materials company, announced that they are resuming operations at the idled manufacturing facility in Summerville. CEO Louis Gries said that revitalizing the Summerville plant will be an important part in the firm's effort to increase manufacturing capacity across their entire corporate network. The \$15 million investment will create 100 jobs.
- On April 7, 2017, Scout Boats announced a 120,000SF expansion, of its Dorchester County facility. The company is adding multiple new boat models to their product catalog, bringing \$10.9 million of capital investment and creating 370 new jobs.
- On February 2, 2017, KION North America, a member of KION Group AG, which is one of the world's largest manufacturers of industrial trucks, announced that they would be expanding their Dorchester County operations. KION will be investing \$5.7 million in its existing operations, creating more than 50 new jobs over

the next five years. One of KION groups customers is Volvo Cars, which is in the process of establishing manufacturing operations in Berkeley County. KION will provide material handling equipment for the facility and will supply and service a fleet of forklifts, reach trucks and VNA (very narrow aisle) trucks.

Local Economy - Relative to Subject & Impact on Housing Demand

The Summerville / Dorchester County area economy has a large number of low to moderate wage workers employed in the service, trade, and manufacturing sectors. Given the acceptable site location of the subject, with good proximity to several employment nodes, the subject will very likely continue to attract potential renters from these sectors of the workforce who are in need of affordable housing and a reasonable commute to work.

The increasing internal growth in population and continuing immigration of population led to, and is continuing to lead to significant growth in local area service and trade employment, specifically job growth in: the local health care system, school system, local government and growth in the number of small businesses and large scale retail trade establishments.

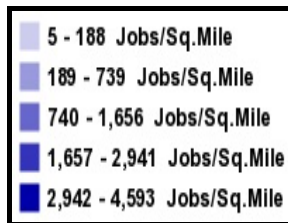
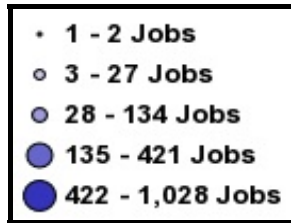
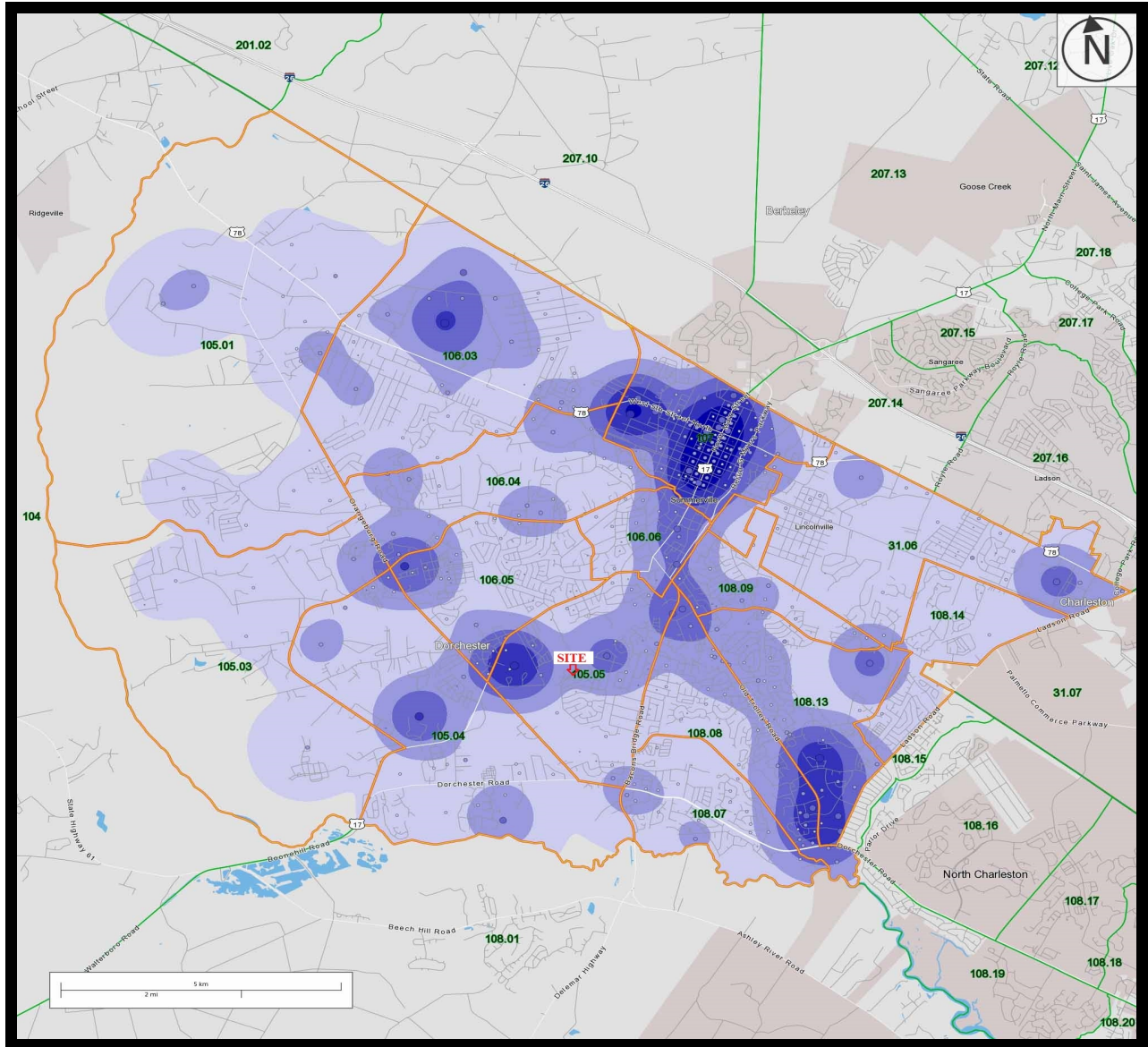
In the opinion of the market analyst, the renovation of an existing USDA family development located within the PMA should fare very well. The opportunities for LIHTC households to buy a home are and will become ever more challenging, in the current underwriting and mortgage due diligence environment.

The proposed net rents at 50% and 60% AMI are marketable, and competitive with the area competitive environment, in particular given the fact that 30 of the existing 42 units have deep subsidy rental assistance (RA). Wages increased in most of the major employment sectors in Dorchester County between 2016 and 2017. However the overall average increase was only a little above the rate of inflation. Occurrences such as this, make renovated, professionally managed apartment properties, that are affordable and well amenitized, attractive to the low to moderate income households in need of housing or alternative housing choices.

In summary, recent economic indicators are more supportive of a continuing improving local economy in Summerville and Dorchester County over the next year. Recent monthly unemployment rates have been declining to the 3.5% level over the last year and are forecasted to continue to decline into the remainder of 2018.

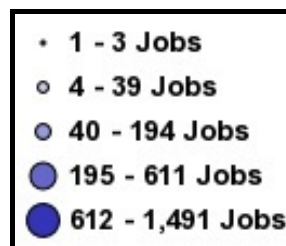
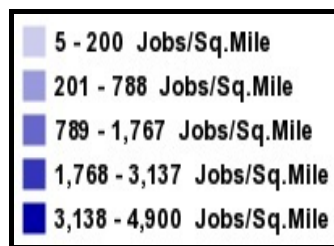
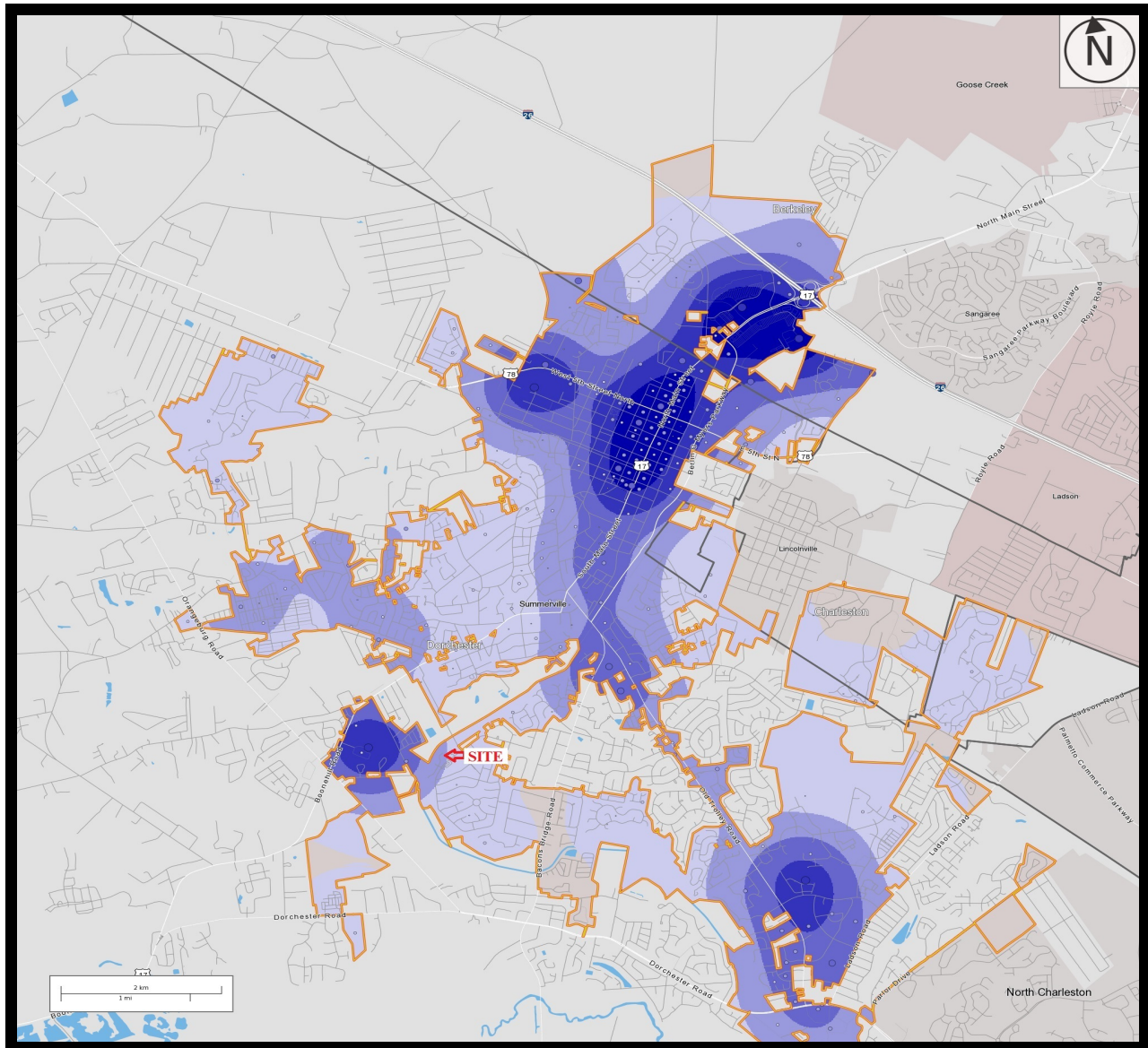
Jobs in the PMA are concentrated in and around Summerville southward and eastward to Charleston County. The following map shows the major employment nodes within the defined PMA.

Major Employment Nodes in Summerville PMA



Within the Town of Summerville, jobs are concentrated in the Central Business District of the town, the US 17 corridor and in various areas in the major transportation corridors.

Major Employment Nodes in Summerville, SC



SECTION E

COMMUNITY DEMOGRAPHIC DATA

Tables 7 through 12 exhibit indicators of trends in population and household growth.

Table 7 exhibits the change in **total** population in Summerville, the Summerville PMA, and Dorchester County between 2000 and 2022. The year 2020 is estimated to be the placed in service year (Source: Exhibit S, 2017 Market Study Guideline Procedures).

Total Population Trends

The City of Summerville and the Summerville PMA exhibited significant to very significant population gains between 2000 and 2010. The rate of increase within the PMA between 2000 and 2010, approximated +2.95% per year versus +4.57% for the City of Summerville. Significant population increases in the PMA between 2017 and 2020 were forecasted at a rate of round +1.70% per year. The forecast for the 2020 to 2022 period is for population change within the PMA to be comparable to the preceding period at +1.65% per year.

The forecasted rate of change between 2017 and 2020 for Dorchester County as a whole is for significant annual gains in population. The majority of the rate of change is subject to: (1) positive net migration of population, and (2) a reduction in the local area labor force participation rate, owing to: (a) the most pro growth economic environment within the county during much of the 10-years, and (b) an increase in the number of baby boomers entering retirement. Recent indicators suggest an improving local economy, which in turn could increase the rate of population gain in the county and PMA in 2020 and 2022 at a rate above the current forecasts.

Population Projection Methodology

The forecast for total population is based primarily upon the 2000 and 2010 census, the 2012 to 2016 census estimates, as well as the Nielsen-Claritas 2017 and 2022 population projections. The most recent set of projections prepared by the South Carolina Revenue and Fiscal Affairs Office were used as a cross check to the Nielsen-Claritas data set.

- Sources: (1) 2000 and 2010 US Census, 2012-2016 US Census Estimates.
- (2) South Carolina State and County Population Projections, prepared by the South Carolina Revenue and Fiscal Affairs Office.
- (3) Nielsen Claritas Projections.

Table 7 exhibits the change in total population in Summerville, the Summerville PMA, and Dorchester County between 2000 and 2022.

Table 7 Total Population Trends and Projections: Summerville, Summerville PMA, and Dorchester County					
Year	Population	Total Change	Percent	Annual Change	Annual Percent
Summerville					
2000	27,752	-----	-----	-----	-----
2010	43,392	+15,640	+ 56.36	+1,564	+ 4.57
2017	51,958	+ 8,566	+ 19.74	+1,224	+ 2.61
2020	54,588	+ 2,630	+ 5.06	+ 877	+ 1.66
2022	56,341	+ 1,753	+ 3.21	+ 877	+ 1.59
Summerville PMA					
2000	61,133	-----	-----	-----	-----
2010	81,651	+20,518	+ 33.56	+2,052	+ 2.94
2017	94,487	+12,836	+ 15.72	+1,834	+ 2.11
2020*	99,456	+ 4,969	+ 5.26	+1,656	+ 1.72
2022	102,768	+ 3,312	+ 3.33	+1,656	+ 1.65
Dorchester County					
2000	96,413	-----	-----	-----	-----
2010	136,555	+40,142	+ 41.64	+4,014	+ 3.54
2017	157,651	+21,096	+ 15.45	+3,014	+ 2.07
2020	165,934	+ 8,283	+ 5.25	+2,761	+ 1.72
2022	171,456	+ 5,522	+ 3.33	+2,761	+ 1.65

* 2020 - Estimated placed in service year.

Calculations: Koontz and Salinger. March, 2018.

Between 2000 and 2010, PMA population increased at an annual rate of approximately 2.95%. The majority of the increase is occurring in the central portion of the PMA in the vicinity of Summerville and that area between Summerville and North Charleston, in particular along and near the major transportation corridors. Between 2017 and 2020 the PMA population is forecasted to increase at a significant annual rate of approximately 1.7%. The figure below presents a graphic display of the numeric change in population in the PMA between 2000 and 2022.

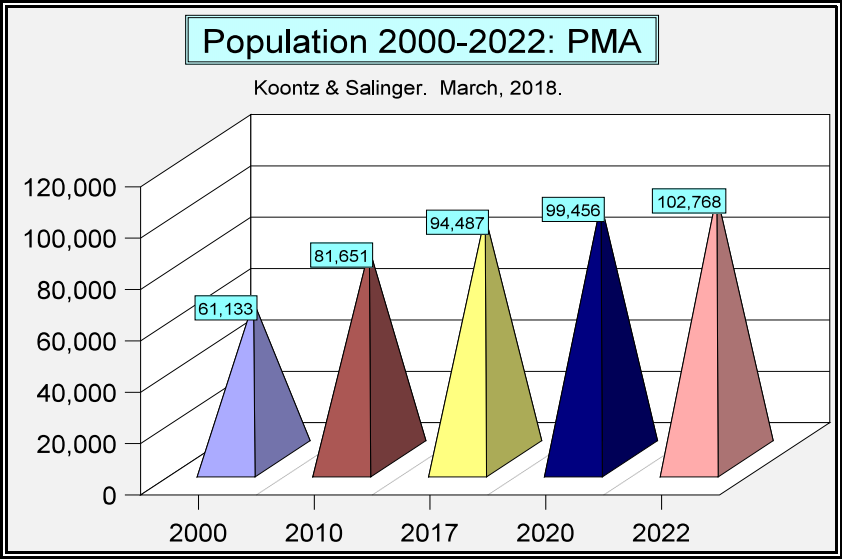


Table 8 exhibits the change in population by age group in the Summerville PMA between 2010 and 2020. One of the most significant increases exhibited between 2017 and 2020 within the Summerville PMA was in the 65-74 age group representing an increase of almost 13% over the three year period. The 75+ age group is forecasted to increase by 955 persons, or by approximately +20%.

	2010 Number	2010 Percent	2017 Number	2017 Percent	2020 Number	2020 Percent
Age Group						
0 - 24	29,166	35.72	32,157	34.03	33,494	33.68
25 - 44	22,442	27.49	24,686	26.13	25,349	25.49
45 - 54	11,835	14.49	13,073	13.84	13,165	13.24
55 - 64	9,399	11.51	11,734	12.42	12,605	12.67
65 - 74	5,318	6.51	8,132	8.61	9,183	9.23
75 +	3,491	4.28	4,705	4.98	5,660	5.69

Sources: 2010 Census of Population, South Carolina
Nielsen Claritas Projections
Koontz and Salinger. March, 2018

HOUSEHOLD TRENDS & CHARACTERISTICS

Table 9 exhibits the change in **total** households in the Summerville PMA between 2000 and 2022. The significant increase in household formations in the Summerville PMA has continued since the 2010 census and reflects the recent population trends and near term forecasts.

The ratio of persons per household is projected to stabilize at around 2.63 between 2017 and 2022 within the Summerville PMA. The reduction in the rate of decline is based upon: (1) the number of retirement age population owing to an increase in the longevity of the aging process for the senior population, and (2) allowing for adjustments owing to divorce and the dynamics of roommate scenarios.

The forecast for group quarters is based on trends in the last two censuses. In addition, it includes information collected from local sources as to conditions and changes in group quarters supply since the 2010 census was taken.

Table 9					
Summerville PMA Household Formations: 2000 to 2022					
Year / Place	Total Population	Population In Group Quarters	Population In Households	Persons Per Household ¹	Total Households
PMA					
2000	61,133	756	60,377	2.7195	22,201
2010	81,651	323	81,328	2.7864	29,187
2017	94,487	300	94,187	2.6393	35,686
2020	99,456	300	99,156	2.6303	37,697
2022	102,768	300	102,468	2.6248	39,039

Sources: Nielsen-Claritas Projections.
 2000 & 2010 Census of Population, South Carolina.
 Koontz & Salinger. March, 2018.

¹Population in Households divided by Total Households.

Table 10				
Change in Household Formations Summerville PMA				
Year	Total Change	Annual Change	Percent Change	% Annual Change
PMA				
2000-2010	+ 6,986	+ 699	+31.47	+ 2.77
2010-2017	+ 6,499	+ 928	+22.27	+ 2.91
2017-2020	+ 2,011	+ 670	+ 5.64	+ 1.84
2020-2022	+ 1,342	+ 671	+ 3.55	+ 1.76

Sources: 2000 & 2010 Census of Population, South Carolina.
 Nielsen-Claritas Projections.
 Koontz and Salinger. March, 2018.

The change in household formations within the Summerville PMA between 2000 and 2010 exhibited a very significant annual increase of almost 700 households or +2.77% per year.

The projection of household formations in the PMA between 2017 and 2020 exhibited a significant increase of 670 households per year or approximately +1.84% per year. The rate and size of the annual increase between 2017 and 2020 is considered to be very supportive of additional new construction and/or rehab LIHTC family development (that targets the low to moderate income population, as well as the non subsidized population), subject to the proposed development rent positioning within the overall competitive environment.

Table 11A								
Households by Owner-Occupied Tenure, by Person Per Household Summerville PMA, 2010 - 2020								
Households	Owner				Owner			
	2010	2017	Change	% 2017	2017	2020	Change	% 2020
1 Person	3,310	4,184	+ 874	16.40%	4,184	4,451	+ 267	16.50%
2 Person	7,341	9,166	+1,825	35.93%	9,166	9,775	+ 609	36.24%
3 Person	3,957	4,993	+1,036	19.57%	4,993	5,272	+ 279	19.55%
4 Person	3,577	4,231	+ 654	16.58%	4,231	4,414	+ 183	16.37%
5 + Person	2,487	2,939	+ 452	11.52%	2,939	3,058	+ 119	11.34%
Total	20,672	25,513	+4,841	100%	25,513	26,970	+1,457	100%

Table 11B								
Households by Renter-Occupied Tenure, by Person Per Household Summerville PMA, 2010 - 2020								
Households	Renter				Renter			
	2010	2017	Change	% 2017	2017	2020	Change	% 2020
1 Person	3,083	3,933	+ 850	38.66%	3,933	4,210	+ 277	39.25%
2 Person	2,181	2,387	+ 206	23.46%	2,387	2,444	+ 57	22.78%
3 Person	1,619	1,875	+ 256	18.43%	1,875	1,968	+ 93	18.35%
4 Person	949	1,176	+ 227	11.56%	1,176	1,248	+ 72	11.63%
5 + Person	683	802	+ 119	7.88%	802	857	+ 55	7.99%
Total	8,515	10,173	+1,658	100%	10,173	10,727	+ 554	100%

Sources: Nielsen Claritas Projections
Koontz and Salinger. March, 2018

Table 11 indicates that in 2020 approximately 95% of the renter-occupied households in the Primary Market Area contain 1 to 5 persons (the target group by household size).

A significant increase in renter households by size is exhibited by 1 person households between 2017 and 2020. Note: Moderate to significant gains are exhibited by 2 through 5+ person per households. One person households are typically attracted to both 1 and 2 bedroom rental units and 2 and 3 person households are typically attracted to 2 bedroom units, and to a lesser degree three bedroom units. It is estimated that between 20% and 25% of the renter households in the PMA fit the bedroom profile for a 3BR unit.

Table 12 exhibits households within the Summerville PMA by owner-occupied and renter-occupied tenure.

The 2017 to 2020 tenure trend revealed a significant increase in renter-occupied tenure, in the Summerville PMA on a percentage basis, exhibiting an annual increase of approximately +1.78%.

<p style="text-align: center;">Table 12</p> <p style="text-align: center;">Households by Tenure: Summerville PMA</p>					
Year/ Place	Total Households	Owner Occupied	Percent	Renter Occupied	Percent
PMA					
2000	22,201	15,954	71.86	6,247	28.14
2010	29,187	20,672	70.83	8,515	29.17
2017	35,686	25,513	71.49	10,173	28.51
2020	37,697	26,970	71.54	10,727	28.46
2022	39,039	27,942	71.57	11,097	28.43

Sources: 2000 & 2010 Census of Population, South Carolina.
 Nielsen-Claritas Projections.
 Koontz and Salinger. March, 2018.

HOUSEHOLD INCOME TRENDS & CHARACTERISTICS

One of the first discriminating factors in residential analysis is income eligibility and affordability. This is particularly of importance when analyzing the need and demand for program assisted multi-family housing.

A professional market study must distinguish between gross demand and effective demand. Effective demand is represented by those households that can both qualify for and afford to rent the proposed multi-family development. In order to quantify this effective demand, the income distribution of the PMA households must be analyzed.

Establishing the income factors to identify which households are eligible for a specific housing product requires the definition of the limits of the target income range. The lower limit of the eligible range is generally determined by affordability, i.e., the proposed gross rents, average minimum social security payments, and/or the availability of deep subsidy rental assistance (RA) for USDA-RD, PHA and HUD Section 8 developments.

The estimate of the upper income limit is based upon the most recent set of HUD MTSP income limits for 4.5, rounded to five person households (the imputed average household size in a 3BR unit, at 1.5 persons per bedroom) in Dorchester County, South Carolina at 50% and 60% of AMI.

For market-rate projects or components of mixed income projects, the entire range is estimated using typical expenditure patterns. While a household may spend as little for rent as required to occupy an acceptable unit, households tend to move into more expensive housing with better features as their incomes increase. In this analysis, the market-rate limits are set at an expenditure pattern of 25% to 45% of household income.

Tables 13A and 13B exhibit renter-occupied households, by income group, in the Summerville PMA in 2010, forecasted to 2017 and 2020.

The projection methodology is based upon Nielsen Claritas forecasts for households, by tenure, by age and by income group for the years 2017 and 2022, with a base year data set comprising a 2010 average, based upon the 2006 to 2010 American Community Survey. The control for this data set was not the 2010 Census, but instead the 2006 to 2010 American Community Survey. The data set was extrapolated to fit the required forecast year of 2020.

Tables 13A and 13B exhibit renter-occupied households, by income in the Summerville PMA in 2010, projected to 2017 and 2020.

Table 13A				
Summerville PMA: Renter-Occupied Households, by Income Groups				
Households by Income	2010 Number	2010 Percent	2017 Number	2017 Percent
Under \$10,000	780	9.16	1,328	13.05
10,000 - 20,000	1,408	16.54	1,467	14.42
20,000 - 30,000	1,379	16.20	1,587	15.60
30,000 - 40,000	1,231	14.46	1,470	14.45
40,000 - 50,000	1,133	13.13	1,035	10.17
50,000 - 60,000	733	8.61	780	7.67
60,000 +	1,851	21.74	2,506	24.63
Total	8,515	100%	10,173	100%

Table 13B				
Summerville PMA: Renter-Occupied Households, by Income Groups				
Households by Income	2017 Number	2017 Percent	2020 Number	2020 Percent
Under \$10,000	1,328	13.05	1,337	12.46
10,000 - 20,000	1,467	14.42	1,464	13.65
20,000 - 30,000	1,587	15.60	1,578	14.71
30,000 - 40,000	1,470	14.45	1,524	14.21
40,000 - 50,000	1,035	10.17	1,100	10.25
50,000 - 60,000	780	7.67	828	7.72
60,000 +	2,506	24.63	2,896	27.00
Total	10,173	100%	10,727	100%

Sources: 2006 - 2010 American Community Survey.
 Nielsen Claritas, HISTA Data, Ribbon Demographics.
 Koontz and Salinger. March, 2018.

SECTION F

PROJECT-SPECIFIC DEMAND ANALYSIS

This analysis examines the area market demand in terms of a specified demand methodology. This incorporates sources of age qualified income eligible demand from new renter household growth and from existing renter

households residing within the Summerville market. In addition, even though it is not significant in the area at this time, the amount of substandard housing that still exists within the Summerville PMA will be factored into the demand methodology.

This methodology develops an effective market demand comprising eligible demand segments based on household characteristics and typical demand sources. It evaluates the required penetration of this effective demand pool. The section also includes estimates of reasonable absorption of the proposed units. The demand analysis is premised upon an estimate that the subject will be placed in service in 2020, as a completed rehab development.

In this section, the effective project size is 42-units. Throughout the demand forecast process, income qualification is based on the distribution estimates derived in Tables 13A and 13B from the previous section of the report.

Subsequent to the derivation of the annual demand estimate, the project is considered in the context of the current market conditions. This assesses the size of the proposed project compared to the existing population, including factors of tenure and income qualification. This indicates the proportion of the occupied housing stock that the project would represent and gives an indication of the scale of the proposed complex in the market. This does not represent potential demand, but can provide indicators of the validity of the demand estimates and the expected capture rates.

The demand analysis will address the impact on demand from existing and proposed like kind competitive supply. In this case discriminated by income.

Finally, the potential impact of the proposed renovation project on the housing market supply is evaluated, particularly the impact on other like-kind assisted LIHTC apartment projects in the market area.

Income Threshold Parameters

Summerville Villas has 30-units with rental assistance (RA). For those 30-units the lower income limit is effectively \$0 up to the maximum allowable for each household size. However, this analysis is prepared as if there is no RA.

This market study focused upon the following target population regarding income parameters:

- (1) - Occupied by households at 60% or below of AMI.
- (2) - Projects must meet the person per unit imputed income requirements of the Low Income Housing Tax Credit, as amended in 1990. Thus, for purposes of estimating rents, developers should assume no more than the following: (a) For efficiencies, 1 Person; (b) For units with one or more separate bedrooms, 1.5 persons for each separate bedroom.
- (3) - The proposed development be available to Section 8 voucher holders.
- (4) - The 2017 HUD Income Guidelines were used.
- (5) - 0% of the units will be set aside as market rate with no income restrictions.

Analyst Note: The subject will consist of 1BR, 2BR and 3BR units. The expected minimum to maximum number of people per unit is:

- 1BR - 1 and 2 persons
- 2BR - 2, 3 and 4 persons
- 3BR - 3, 4, 5 and 6 persons

The proposed development will target approximately 20% of the units at 50% or below of area median income (AMI), and approximately 80% at 60% AMI.

The lower portion of the target income range is set by the proposed subject 1BR gross rents at 50% and 60% AMI. Typically the 1BR gross rent sets the lower threshold limit and the 2BR and 3BR gross rents (income ranges) fall between the lower and the maximum HUD based person per household income range by AMI.

It is estimated that households at the subject will spend between 30% and 45% of income for gross housing expenses, including utilities and maintenance. Recent Consumer Expenditure Surveys (including the most recent) indicate that the average cost paid by renter households is around 36% of gross income. Given the subject property intended target group it is estimated that the target LIHTC income group will spend between 25% and 50% of income to rent. For LIHTC family applications 35% of income to rent is established as the rent to income ratio.

The proposed 1BR net rent at 50% AMI is \$525. The estimated utility cost is \$115. The proposed 1BR gross rent is \$640. The lower income limit at 50% AMI based on a rent to income ratio of 35% for a 1BR unit is established at \$21,940.

The proposed 1BR net rent at 60% AMI is \$525. The estimated utility cost is \$115. The proposed 1BR gross rent is \$640. The lower income limit at 60% AMI based on a rent to income ratio of 35% for a 1BR unit is established at \$21,940.

The maximum income at 50% and 60% AMI for 2 to 5 person households in Dorchester County, SC follows:

	<u>50%</u> <u>AMI</u>	<u>60%</u> <u>AMI</u>
1 Person -	\$24,100	\$28,920
2 Person -	\$27,550	\$33,060
3 Person -	\$31,000	\$37,200
4 Person -	\$34,400	\$41,280
5 Person -	\$37,200	\$44,640

Source: 2017 HUD MTSP income limits.

Overall Income Ranges by AMI

The overall income range for the targeting of income eligible households at 50% AMI is \$21,940 to \$37,200.

The overall income range for the targeting of income eligible households at 60% AMI is \$21,940 to \$44,640.

Fair Market Rents

The 2018 Final Fair Market Rents for Dorchester County, SC are as follows:

- Efficiency = \$ 743
- 1 BR Unit = \$ 884
- 2 BR Unit = \$1037
- 3 BR Unit = \$1376
- 4 BR Unit = \$1783

*Fair Market Rents are gross rents (include utility costs)

Source: www.huduser.gov

Note: The proposed subject property 1BR, 2BR, and 3BR gross rents at both 50% and 60% AMI are set below the 2018 maximum Fair Market Rents in Dorchester County. Thus, the proposed subject property 1BR, 2BR, and 3BR units at 50% and 60% AMI will be readily marketable to Section 8 Housing Choice voucher holders.

SUMMARY

Target Income Range - Subject Property - by Income Targeting Scenario

50% AMI Target Income Segment

The subject will position 10-units at 50% of AMI.

It is projected that in 2020 approximately **22%** of the renter households in the PMA were in the subject property 50% AMI LIHTC target income group of \$21,940 to \$37,200.

60% AMI Target Income Segment

The subject will position 32-units at 60% of AMI.

It is projected that in 2020 approximately **31%** of the renter households in the PMA were in the subject property 60% AMI LIHTC target income group of \$21,940 to \$44,640.

Adjustments

In order to adjust for income overlap between the 50% and 60% income segments several adjustments were made resulting in the following discrete estimates/percentages of households, within the 50%, and 60% AMI income ranges:

Renter-Occupied

50% AMI	11%
60% AMI	20%

The discrimination made to the overall 50%, and 60% income ranges was to maintain the ratio difference established when analyzing the income overlap groups, yet lean towards the higher segment of the overlap, i.e., 60% (vs 50%) owing the forecast trends, both on a numerical and a percentage basis exhibited between 2017 and 2020, within the Nielsen Claritas HISTA data base for the PMA. Overall, the adjustment between the two income bands was moderate.

Effective Demand Pool

In this methodology, there are three basic sources of demand for an apartment project to acquire potential tenants:

- * net household formation (normal growth),
- * existing renters who are living in substandard housing, and
- * existing renters who are in rent overburdened situations.

Several adjustments are made to the basic model. The methodology adjustments are:

(1) taking into consideration like-kind competitive units now in the "pipeline", and/or under construction within the 2017 to 2020 forecast period, and

(2) taking into consideration like-kind competition introduced into the market between 2016 and 2017.

New Household Growth

For the PMA, forecast housing demand through household formation totals 2,011 households over the 2017 to 2020 forecast period. By definition, were this to be growth it would equal demand for new housing units. This demand would further be qualified by tenure and income range to determine how many would belong to the subject target income group. During the 2017 to 2020 forecast period it is calculated that 554 or approximately 27.5% of the new households formations would be renters.

Based on 2020 income forecasts, 61 new renter households fall into the 50% AMI target income segment of the proposed subject property, and 111 into the 60% AMI target income segment.

Demand from Existing Renters that are In Substandard Housing

The most current and reliable data from the US Census regarding substandard housing is the 2000 census, and the 2011-2015 American Community Survey. By definition, substandard housing in this market study is from Tables H21 and H48 in Summary File 3 of the 2000 census - Tenure by Age of Householder by Occupants Per Room and Tenure by Plumbing Facilities, respectively. By definition, substandard housing in this market study is from Tables B25015 and B25016 in the 2011-2015 American Community Survey 5-Year Estimates - Tenure by Age of Householder by Occupants Per Room and Tenure by Plumbing Facilities, respectively.

Based upon 2000 Census data, 381 renter-occupied households were defined as residing in substandard housing. Based upon 2011-2015 American Community Survey data, 266 renter-occupied households were defined as residing in substandard housing.

The forecast for 2017 based upon a straight line trend of over crowding data, and holding constant at year 2010 lacking complete plumbing data, and adjusting for margin of error estimates, was for 180 renter occupied household residing in substandard housing in the PMA, in 2017. The forecast in 2020 was for 140 renter occupied household residing in substandard housing in the PMA.

Based on 2020 income forecasts, 15 substandard renter households fall into the target income segment of the proposed subject property at 50% AMI, and 28 at 60% AMI.

Demand from Existing Renters that are Rent Overburdened

An additional source of demand for rental units is derived from renter households desiring to move to improve their living conditions, to accommodate different space requirements, because of changes in financial circumstances or affordability. For this portion of the estimate, rent overburdened households are included in the demand analysis. Note: This segment of the demand analysis excluded the estimate of demand by substandard housing as defined in the previous segment of the demand analysis.

By definition, rent overburdened are those households paying greater than 30% to 35% of income to gross rent*. The most recent census based data for the percentage of households that are rent overburdened by income group is the 2000 census. In addition, the 2012-2016 American Community Survey provides the most current estimate of rent overburden statistical information. Forecasting this percentage estimate forwarded into 2019 is extremely problematic and would not hold up to the rigors of statistical analysis. It is assumed that the percentage of rent overburdened households within the target income range has increased, owing to the 2008-2010 national and worldwide

recession since the report of the findings in the 2012-2016 American Community Survey. The 2012-2016, ACS indicates that approximately 73% of all households age 25-64 in Dorchester County are rent overburdened, and that approximately 79% of all renters (regardless of age) within the \$20,000 to \$34,999 income range are rent overburdened, versus approximately 47% in the \$35,000 to \$49,999 income range.

***Note:** HUD defines rent over burdened as paying more than 30% of income to rent.

It is estimated that approximately 79% of the renters with incomes in the 50% AMI target income segments of \$21,940 to \$37,200 are rent overburdened. It is estimated that approximately 66% of the renters with incomes in the 60% AMI target income segments of \$21,940 to \$44,640 are rent overburdened.

In the PMA it is estimated that 920 existing renter households are rent overburdened and fall into the 50% AMI target income segment of the proposed subject property. In the PMA it is estimated that 1,397 existing renter households are rent overburdened and fall into the 60% AMI target income segment of the proposed subject property.

Total Effective Tenant Pool

The potential demand from these sources (within the PMA) total 996 households/units for the subject apartment development at 50% AMI. The potential demand from these sources (within the PMA) total 1,536 households/units for the subject apartment development at 60% AMI.

The total potential demand from the PMA is 2,532 households/units for the subject apartment development at 50% to 60% AMI. This estimate comprises the total income qualified demand pool from which the tenants at the proposed project will be drawn from the PMA.

Naturally, not every household in this effective demand pool will choose to enter the market for a new unit; this is the gross effective demand.

These estimates of demand will still need to be adjusted for the introduction of new like-kind LIHTC supply into the PMA that is either: (1) built in 2017, placed in service in 2017, or currently in the rent-up process, (2) under construction, and/or (3) in the pipeline for development (if any).

Upcoming Direct Competition

An additional adjustment is made to the total demand estimate. The estimated number of direct, like-kind competitive supply under construction and/or in the pipeline for development must be taken into consideration. At present, there are no LIHTC family apartment developments under construction within the PMA, nor are there any in the pipeline for development.

A review of the 2015 to 2017 list of awards made by the South Carolina Housing Finance and Development Authority revealed that in the last three rounds one award was made for a LIHTC elderly development located within the Summerville PMA. In 2016, an award was made for a 42-unit HFOP development, The Villas at Oakbrook. The development will be located at 2044 Old Trolley Road in Summerville. At the time of the market study, The Villas at Oakbrook were still under construction. This development is not considered to be comparable to the proposed subject LIHTC/USDA-family rehab development.

At the time of the market survey, there was one 258-unit Class A Luxury market rate property, The Legends at Azalea, located within Summerville that was in the process of rent-up. The development began pre leasing in the Spring of 2017. The property is located at 3500 Pinckney Marsh Lane and is being developed by United Residential Properties (Macon, GA).

The Class A Luxury property is not considered to be comparable to the proposed subject LIHTC/USDA-family rehab development. The Legends at Azalea will offer seven 1BR floor plans (651-920 SF), two 2BR floor plans (1155-1252 SF), and two 3BR floor plans (1312-1479 SF). Presently 1BR units are \$990 to \$1,300, 2BR units are \$1,325 to \$1,415, and 3BR units are \$1,525 to \$1,550. The building design is 3-story walk-up, garden apartments. Amenities include: gated entry, clubhouse, salt water swimming pool, garages, storage units, cyber café, pet park, car care center, and screened patios and balconies.

Sources: www.legendsatazalea.com

Ms. Pamela Wike, Planning Assistant, Planning and Economic Development Department, City of Summerville, (843) 851-4214.
(February 14, 2018)

The segmented, effective demand pool for the Summerville PMA is summarized in Table 14.

Table 14

LIHTC Quantitative Demand Estimate: Summerville PMA

	AMI	AMI
● <u>Demand from New Growth - Renter Households</u>	<u>50%</u>	<u>60%</u>
Total Projected Number of Households (2020)	10,727	10,727
Less: Current Number of Households (2017)	<u>10,173</u>	<u>10,173</u>
Change in Total Renter Households	+ 554	+ 554
% of Renter Households in Target Income Range	<u>11%</u>	<u>20%</u>
Total Demand from New Growth	61	111
● <u>Demand from Substandard Housing with Renter Households</u>		
Number of Households in Substandard Housing (2017)	180	180
Number of Households in Substandard Housing (2020)	140	140
% of Substandard Households in Target Income Range	<u>11%</u>	<u>20%</u>
Number of Income Qualified Renter Households	15	28
● <u>Demand from Existing Renter Households</u>		
Number of Renter Households (2020)	10,727	10,727
Minus Number of Substandard Renter Household	<u>- 140</u>	<u>- 140</u>
Total in Eligible Demand Pool	10,587	10,587
% of Households in Target Income Range	<u>11%</u>	<u>20%</u>
Number of Income Qualified Renter Households	1,165	2,117
Proportion Income Qualified (that are Rent Overburden)	<u>79%</u>	<u>66%</u>
Total	920	1,397
● <u>Net Total Demand (New & Existing Renters)</u>	996	1,536
● <u>Adjustment for Like-Kind Supply</u>		
Minus New Supply of Competitive Units (2016-2017)*	<u>- 0</u>	<u>- 0</u>
● <u>Gross Total Demand</u>	996	1,536

Capture Rate Analysis

Scenario 1: (assumes a 100% vacant property after rehab)

Scenario 1 assumes a completed rehab development that is 100% vacant.

Total Number of Households Income Qualified = 2,532. For the subject 42 LIHTC/USDA units, this equates to an overall non segmented Capture Rate of 1.7%.

Scenario 1

● <u>Capture Rate</u> (42-units)	50%	60%
	<u>AMI</u>	<u>AMI</u>
Number of Units in LIHTC Segment	10	32
Number of Income Qualified Households	996	1,536
Required Capture Rate	1.0%	2.1%

Scenario 2: (assumes a 30% vacant property after rehab)

Scenario 2

Scenario 1 assumes a completed rehab development that is 100% vacant. Summerville Villas typically has an occupancy rate of 96%-97%, owing primarily to the availability of 30-units of rental assistance. Allowing for the retention of the 30-units with rental assistance results in a worse case scenario of 12 vacant unit with a 2nd Capture Rate Scenario as follows:

Total Number of Households Income Qualified = 2,532. For the vacant 12 LIHTC/USDA units, this equates to an overall Capture Rate of 0.5%.

● <u>Capture Rate</u> (12-units)	50%	60%
	<u>AMI</u>	<u>AMI</u>
Number of Units in LIHTC Segment	2	10
Number of Income Qualified Households	996	1,536
Required Capture Rate	0.2%	0.7%

● Total Demand by Bedroom Mix

It is estimated that approximately 30% of the target group is estimated to fit a 1BR unit profile, 45% of the target group is estimated to fit a 2BR unit profile, and 25% of the target group is estimated to fit a 3BR unit profile. Source: Table 11B and Survey of the Competitive Environment - Table 15.

Rationale for 3BR Targeting

The following demand by bedroom mix implicitly adjusts for household size such that demand for 3BR units comprises larger (3+ person) renter households. In Table 11B the data indicates that in 2020 approximately 19.5% of the renter-occupied households in the PMA are 4 and 5+ person households. Table 15, exhibits that 48% of the existing LIHTC & USDA-family supply located within the PMA targets large families/households with 3BR units.

* At present there are no LIHTC like kind competitive properties either under construction or in the pipeline for development.

Total Demand by Bedroom Type (at 50% AMI)

1BR - 299
2BR - 448
3BR - 249

Total - 996

	<u>Total Demand</u>	New Supply*	<u>Net Demand</u>	Units <u>Proposed</u>	Capture <u>Rate</u>
1BR	299	0	299	2	0.7%
2BR	448	0	448	6	1.3%
3BR	249	0	249	2	0.8%

Total Demand by Bedroom Type (at 60% AMI)

1BR - 461
2BR - 691
3BR - 384

Total - 1,536

	<u>Total Demand</u>	New Supply*	<u>Net Demand</u>	Units <u>Proposed</u>	Capture <u>Rate</u>
1BR	461	0	461	6	1.3%
2BR	691	0	691	18	2.6%
3BR	384	0	384	8	2.1%

- Scenario 1 - Overall Project Capture Rate: 1.7%

Summary: Assumes 100% vacant property (worse case scenario).

- Scenario 2 - Overall Project Capture Rate: 0.5%

Summary: An overall capture rate of 0.5% for the proposed LIHTC/USDA rehab development with 30-units of deep subsidy rental assistance is considered to be a very positive quantitative indicator given the following market conditions: (1) the existing program assisted LIHTC & USDA-family apartment market targeting very low to moderate income households is stable and operating at a 99% occupancy rate, with most properties maintaining a waiting list, (2) the site location is considered to be very good and will enhance the marketing and rent-up of the subject, and (3) the demand methodology excluded potential demand from eligible HUD Section 8 voucher holders. Typically a capture rate greater than 20% warrants caution. In the case of the subject, a capture rate of 0.5% is considered to be a quantitative indicator which is very supportive of the proposed LIHTC/USDA rehab development.

- Penetration Rate:

The NCHMA definition for Penetration Rate is: "The percentage of age and income qualified renter households in the Primary Market Area that all existing and proposed properties, to be completed within six months of the subject, and which are competitively priced to the subject that must be captured to achieve the Stabilized Level of Occupancy."

The above capture rate analysis and findings already take into consideration like-kind upcoming and pipeline development. In fact, the final step of the Koontz & Salinger demand and capture rate methodologies incorporates penetration rate analysis.

Absorption Analysis

Assuming the property was 100% vacant, and comparable to a new construction LIHTC/USDA family development, the most likely/best case rent-up scenario for the property, were the subject 100% vacant and still retains 30 units of rental assistance, suggests a 1-month rent-up time period (an average of 12-units per month). Absent the 30-units of rental assistance the estimate is within 4-months.

The absorption of the project is contingent upon an attractive product after the rehab process, professional management, and a strong marketing and pre-leasing program.

The proposed development does not have a Relocation Plan. It was reported that the renovation will take place in such a way that no tenants will be relocated during the rehab process.

Based upon: (1) an examination of the rent roll and tenant incomes, (2) an examination of historical occupancy rates, and (3) the retention of: (a) the existing 30-units of deep subsidy rental assistance and (b) the typical number of Section 8 voucher holders at the property, it is estimated that the property will retain at least 80% of its tenant base, the most likely/best case rent-up scenario for the property, were the subject 20% vacant, suggests a 1-month rent-up time period (an average of 8-units per month).

Stabilized occupancy, subsequent to the end of the rehab process is expected to be 93% or higher within a one month period, beyond the absorption period.

SECTION G

COMPETITIVE ENVIRONMENT &
SUPPLY ANALYSIS

This section of the report evaluates the general rental housing market conditions in the PMA.

Overall, the Summerville apartment market is very diversified, and relatively dynamic. Much like the significant population growth

over the last 17 years, the local apartment market exhibited similar significant growth, with the exception of the last "deep recession" period. The local apartment market has become much more diversified and upscale with a number of Class A properties introduced into the market, as well as a number of LIHTC complexes (targeting both the elderly and general population).

Part I - Survey of LIHTC & USDA Family Apartments (located w/in the PMA)

Seven LIHTC-family apartment properties, representing 500-units, and three USDA-family apartment properties, representing 138-units (inclusive of the subject) were surveyed in detail. All ten properties are located within the Summerville PMA. Several key findings in the surveyed program assisted apartments include:

- * At the time of the survey, the overall estimated vacancy rate of all surveyed LIHTC-family apartment properties was 0.6%.
- * At the time of the survey, the overall estimated vacancy rate of all surveyed USDA-family apartment properties was 3.6%.
- * All seven surveyed LIHTC-family properties maintain a waiting list, ranging in size between 3 and 80 applications.
- * Typical occupancy rates at the surveyed LIHTC family program assisted apartment properties was reported to be in the high 90's.
- * All three surveyed USDA-family properties maintain a waiting list, ranging in size between 3 and 101 applications.
- * The bedroom mix of the surveyed LIHTC-family properties is 1.5% 1BR, 45.5% 2BR, 47% 3BR, and 6% 4BR.
- * The bedroom mix of the surveyed USDA-family properties is 17% 1BR, 67% 2BR, and 16% 3BR.
- * The most comparable surveyed USDA-family property to the subject in terms of income restriction and project design are Cambridge Apartments and Summer Pines.
- * A map showing the location of the surveyed LIHTC & USDA apartment properties is provided on page 62.

Survey of Competitive Market Rate Apartments

Fourteen market rate properties, representing 2,884 units were surveyed. All 14 properties are located within the Summerville PMA. Several key findings in the conventional market include:

- * At the time of the survey, the overall estimated vacancy rate of the surveyed market rate properties targeting the general population was 5.5%.
- * The typical occupancy rates reported for most of the surveyed properties ranges between the mid 90's to high 90's.
- * The bedroom mix of the surveyed market rate properties was 26% 1BR, 59.5% 2BR, and 14.5% 3BR.
- * A survey of the conventional apartment market exhibited the following average, median and range of net rents, by bedroom type, in the area competitive environment:

Market Rate Competitive Environment - Net Rents			
BR/Rent	Average	Median	Range
1BR/1b	\$953	\$940	\$710-\$1409
2BR/1b	\$992	\$980	\$788-\$1286
2BR/1.5b, 2b & 2.5b	\$1017	\$1100	\$813-\$1280
3BR/1.5b, 2b & 2.5b	\$1275	\$1252	\$950-\$1588

Source: Koontz & Salinger. March 2018

- * Approximately 14% of the surveyed market rate properties include water, sewer and trash removal within the net rent. Approximately 29% of the surveyed properties only include trash removal, and no utilities were included in 50% of the surveyed properties.
- * Security deposits range between \$100 and \$500, or were based upon one month's rent. The overall estimated median security deposit within the surveyed competitive environment is \$250.
- * None of the surveyed market rate properties are presently offering rent concessions.
- * Three of the surveyed market rate properties were built in the 1970's, three in the 80's, and eight in the 2000's. The overall average age is 1995, median age 2004, and the range is 1974-2009.

* A survey of the conventional apartment market exhibited the following average, median and range of size of units, by bedroom type, in the area competitive environment:

Market Rate Competitive Environment - Unit Size			
BR/Rent	Average	Median	Range
1BR/1b	795	790	551-984
2BR/1b	985	933	780-1122
2BR/1.5b, 2b & 2.5b	1100	1095	852-1275
3BR/1.5b, 2b & 2.5b	1304	1276	1032-1668

Source: Koontz & Salinger. March, 2018

* A map showing the location of the surveyed market rate properties is provided on page 63.

Comparable Properties

* The most comparable surveyed market rate properties to the subject in terms of rent reconciliation/advantage analysis are:

Comparable Market Rate Properties: By BR Type		
1BR	2BR	3BR
Bridge Pointe	Bridge Pointe	Bridge Pointe
Martins Creek	Martins Creek	Martins Creek
Gates @ Summerville	Gates @ Summerville	Gates @ Summerville
Treehaven	Treehaven	Treehaven
Wellington Place	Wellington Place	Wellington Place
Westbury Mews	Westbury Mews	Westbury Mews

Source: Koontz & Salinger. March, 2018

* A map showing the location of the surveyed comparable market rate properties is provided on page 64.

Summary of PMA Vacancy Rates

LIHTC fm Properties	- 0.6%
USDA fm Properties	- 3.6%
Market Rate	- 5.5%
Market Rate - Comparable	- 7.5%
Overall Rate*	- 4.8%

*LIHTC, USDA, and Market Rate

Section 8 Housing Choice Vouchers

The Section 8 Housing Choice Voucher program for Summerville and Dorchester County that is managed by the SC State Housing Authority covers a 7 county area. The baseline for vouchers for the seven county area is 2,064 vouchers, of which 1,990 are in use. At the time of the survey, Dorchester County is allocated 376 vouchers and currently there are 341 vouchers in use. Presently, there are 881-applicants on the waiting list for a Section 8 Housing Choice Voucher in Dorchester County. The waiting list is closed. It can be up to a six to seven year wait for a voucher. It was stated, that: (1) "the need has been ongoing the past few years for additional affordable housing in Dorchester County, but has increased recently" and (2) 1BR and 2BR units are in greatest demand". Source: Mr. Ron Phillips, SC State Housing Authority, February 13, 2018, (803) 896-8671.

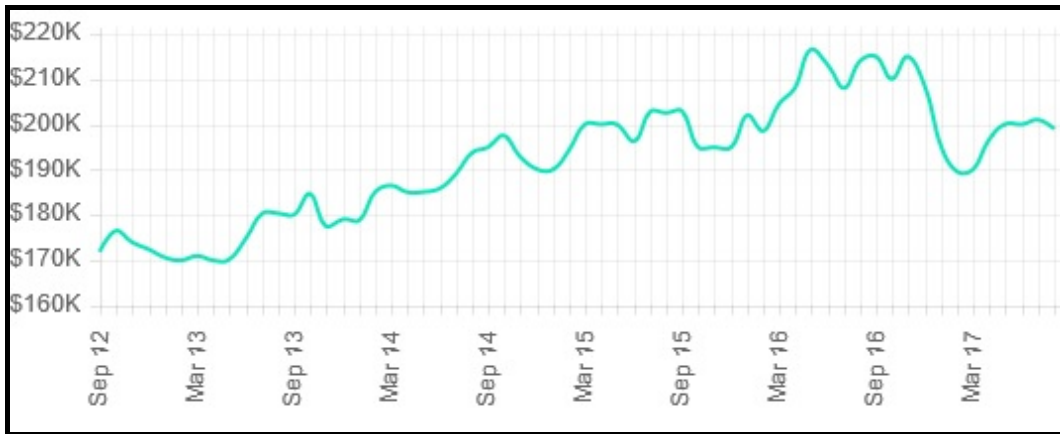
The Section 8 Housing Choice Voucher program managed by the North Charleston Housing Authority has 2,300 vouchers of which 2,042 are issued. Of these vouchers, 236 are in use in Summerville. The waiting list has over 1,000 applicants. The waiting list is presently closed. The respondent stated that the need for affordable housing in Summerville has been ongoing and has increased over the past few years. Source: Ms. Bridget Harris, North Charleston Housing Authority, February 13, 2018, (843) 744-3466.

At the time of the survey, 152 of the 500-units (30.4%) in the surveyed LIHTC-family properties in were occupied by Section 8 Housing Choice Voucher holders.

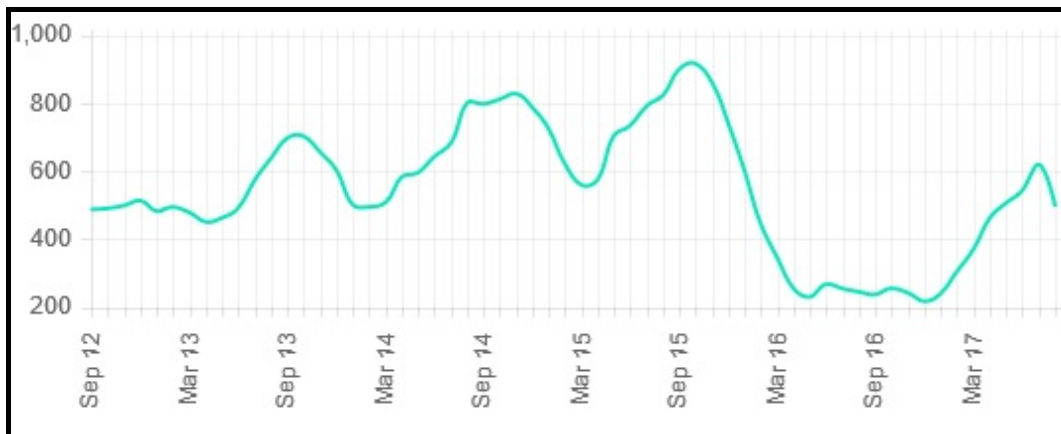
For-Sale Market

The figures below exhibit median homes sales price and home sales trends in Summerville, SC between September 2012 and August 2017. The median sales price fluctuated from a low of \$169,900 to around \$216,500 over the reporting period, but the overall trend was generally increasing to stable. Monthly sales volumes fluctuated from month-to-month, but generally ranged from the mid-400s to over 900 sales per month through the end of 2015. Sales volumes dropped to just over 200 per month through early 2017, but increased to more than 600 per month in July of last year. Data from Trulia indicate a decrease of \$16,180 (-8%) in the median home sales price over the past year, to \$199,000. The average price per square foot for this same period rose to \$115, up from \$108.

Median Home Sales Prices September 2012-August 2017, Summerville



Home Sales Volume September 2012-August 2017, Summerville



Source: www.trulia.com

For-Sale Market (Buy Versus Rent)

The following analysis illustrates the comparative costs of home ownership of a typical single-family residence in the PMA compared to renting a unit in the subject development. Based on an average price of \$199,000, and assuming a 95% LTV ratio (5% down payment), an interest rate of 4.29% and a 30 year term, the estimated monthly mortgage payment including taxes, hazard insurance, and private mortgage insurance (PMI) is shown below:

COST OF TYPICAL HOME PURCHASE

Average Home Price (Trulia)	\$199,000
Mortgaged Value = 95% of Median Home Price	\$189,080
Interest Rate	4.29%
Term (years)	30
Monthly Principal and Interest	\$ 934
Taxes, Hazard Insurance and PMI	\$ 359
Total Estimated Monthly Cost	\$ 1,293

While it is possible that some tenants in LIHTC properties could afford the monthly payments, the number who could afford the down payment and other closing costs is likely to be minimal. In the example above, the required down payment would be \$9,950. Additional closing costs could include the first years' hazard insurance premium, mortgage "points", and various bank fees. If total closing costs (including down payment) are equal to 6% of the purchase price, a prospective buyer would need \$11,940. Given these costs, it is readily apparent that home purchase is not considered to be competitive among LIHTC income qualified households.

With respect to mobile homes, the overall ratio of this housing type is quite small in the Summerville PMA, and the ratio of renter occupied units is even smaller. Given the insignificant number of mobile homes in this market, little to no competition is expected from this housing type.

In summary, the proposed USDA family rehab development most likely would lose few (if any) tenants to turnover owing to the tenants changing tenure to home ownership in the majority of the Summerville, SC home buying market. The majority of the tenants at the subject property have annual incomes in the \$9,000 to \$25,000 range. Today's home buying market, both stick-built, modular, and mobile home requires that one meet a much higher standard of income qualification, long term employment stability, credit standing, and a savings threshold. These are difficult hurdles for the majority of LIHTC/USDA family households to achieve in today's home buying environment.

Table 15 exhibits the project size, bedroom mix, number of vacant units (at the time of the survey), net rents and reported unit sizes of a sample of the surveyed program assisted LIHTC, and USDA family apartment properties within the Summerville PMA competitive environment.

Table 15											
SURVEY OF LIHTC & USDA FAMILY PROGRAM ASSISTED COMPETITIVE SUPPLY PROJECT PARAMETERS											
Complex	Total Units	1BR	2BR	3BR	Vac. Units	1BR Rent	2BR Rent	3BR Rent	SF 1BR	SF 2BR	SF 3BR
Subject	42	8	24	10	Na	\$525	\$574	\$607	622	815	995
LIHTC											
Azalea Park	64	--	32	32	0	--	\$575-\$660	\$655-\$770	--	895	1100
Cedar Key	48	--	16	32	0	--	\$573-\$758	\$636-\$859	--	915	1100
Country Club	32	--	--	32	0	--	\$550-\$650	--	--	950-1057	--
Lake Pointe	56	8	20	28	0	\$549-\$600	\$632-\$700	\$707-\$800	850	1100	1250-1400
Oak Hollow	44	--	--	44	1	--	--	\$700-\$960	--	--	1234-1367
Planters Retreat	192	--	96	96	2	--	\$819	\$938	--	1082	1322
Wisteria Place	64	--	32	32	0	--	\$664-\$819	\$759-\$938	--	1082	1322
Sub Total	500	8	196	276	3						
USDA-RD											
Cambridge	48	8	32	8	1	\$511	\$546	\$561	594	864	1100
Summer Pines	48	8	36	4	0	\$484	\$524	\$599	695	928	1035
Summerville Villas	42	8	24	10	4	\$543	\$574	\$607	622	815	995
Sub Total	138	24	92	22	5						
Total*	638	32	288	298	8						

*- Excludes the subject property

Comparable properties highlighted in red.

Note: The basic rent was noted for the USDA-RD properties

Source: Koontz and Salinger. March, 2018.

Table 16 exhibits the project size, bedroom mix, number of vacant units (at the time of the survey), net rents and reported unit sizes of a sample of the surveyed market rate apartment properties within the Summerville competitive environment.

Table 16											
SURVEY OF MARKET RATE COMPETITIVE SUPPLY PROJECT PARAMETERS											
Complex	Total Units	1BR	2BR	3BR	Vac. Units	1BR Rent	2BR Rent	3BR Rent	SF 1BR	SF 2BR	SF 3BR
Subject	42	8	24	10	Na	\$525	\$574	\$607	622	815	995
Bridge Pointe	130	24	74	32	13	\$1065	\$1055-\$1280	\$1350-\$1500	790	1154-1181	1491-1668
Farmington Village	280	72	176	32	3	\$997-\$1022	\$1112-\$1182	\$1267	696-984	1084-1227	1382
Gates @ Summerville	240	50	168	22	49	\$710-\$780	\$788-\$830	\$950-\$995	900	1050	1240
Latitude @ Westcott	290	24	218	48	21	\$1014-\$1409	\$1051-\$1437	\$1329-\$1588	833	1044-1056	1488
Martins Creek	200	48	128	24	1	\$847-\$867	\$910-\$1030	\$1035-\$1113	793	995	1202
Oakbrook Village	192	24	120	48	2	\$890-\$940	\$1100-\$1175	\$1325-\$1375	728	1178	1417
Silvana Oaks	208	80	88	40	3	\$1010-\$1050	\$1045-\$1110	\$1250-\$1315	770-850	1100	1200
Summerville Station	200	48	128	24	12	\$861-\$939	\$877-\$986	\$1247-\$1252	700	1000	1200
The Grove @ Oakbrook	280	60	164	56	3	\$930-\$1070	\$1065-\$1190	\$1270-\$1330	888-972	1080-1235	1295
The Reserve @ Westcott	288	120	132	36	31	\$940-\$1020	\$1050-\$1155	\$1295-\$1360	779-864	1048-1146	1234-1331
The Tradition @ Summerville	232	64	156	12	16	\$930-\$1102	\$959-\$1186	\$1338-\$1463	652-790	933-1050	1276
Treehaven	88	40	40	8	2	\$749	\$849	\$1029	682	852	1032
Wellington Place	124	50	50	24	0	\$880-\$915	\$920-\$1000	\$1005-\$1095	725-945	925-1050	1079-1155

Table 16

**SURVEY OF MARKET RATE COMPETITIVE SUPPLY
PROJECT PARAMETERS**

Complex	Total Units	1BR	2BR	3BR	Vac. Units	1BR Rent	2BR Rent	3BR Rent	SF 1BR	SF 2BR	SF 3BR
Westbury Mews	132	44	72	16	4	\$905-\$1005	\$1010-\$1115	\$1165	551-877	780-1007	1105
Total*	2,884	748	1714	422	160						

* - Excludes the subject property

Comparable properties highlighted in red.

Source: Koontz and Salinger. March, 2018.

Table 17, exhibits the key amenities of the subject and the surveyed LIHTC, and USDA-RD program assisted apartment properties. Overall, the subject is marginally comparable and competitive with the area program assisted apartment properties, regarding the unit amenity package but not with the development amenity package.

Table 17													
SURVEY OF PROGRAM ASSISTED (FAMILY) COMPETITIVE SUPPLY UNIT & PROJECT AMENITIES													
Complex	A	B	C	D	E	F	G	H	I	J	K	L	M
Subject	x	x			x	x	x	x	x	x	x	x	x
LIHTC													
Azalea Park	x	x			x	x		x	x	x	x	x	x
Cedar Key	x	x			x	x		x	x	x	x		x
Country Club	x	x						x	x	x	x		x
Lake Pointe	x	x			x	x		x	x	x	x	x	x
Oak Hollow	x	x				x		x	x	x	x	x	x
Planters Retreat	x	x	x		x	x	x	x	x	x	x	x	x
Wisteria Place	x	x			x	x	x	x	x	x	x		x
USDA-RD													
Cambridge	x	x			x			x	x	x	x		
Summer Pines	x	x			x				x	x	x		x
Summerville Villas	x	x			x				x	x	x		x

Source: Koontz and Salinger. March, 2018.

Key: A - On-Site Mgmt Office B - Central Laundry C - Pool
 D - Tennis Court E - Playground/Rec Area F - Dishwasher
 G - Disposal H - W/D Hook-ups I - A/C
 J - Cable Ready K - Mini-Blinds L - Community Rm/Exercise Rm
 M - Storage/other (inc. - ceiling fan, microwave, storage, patio/balcony)

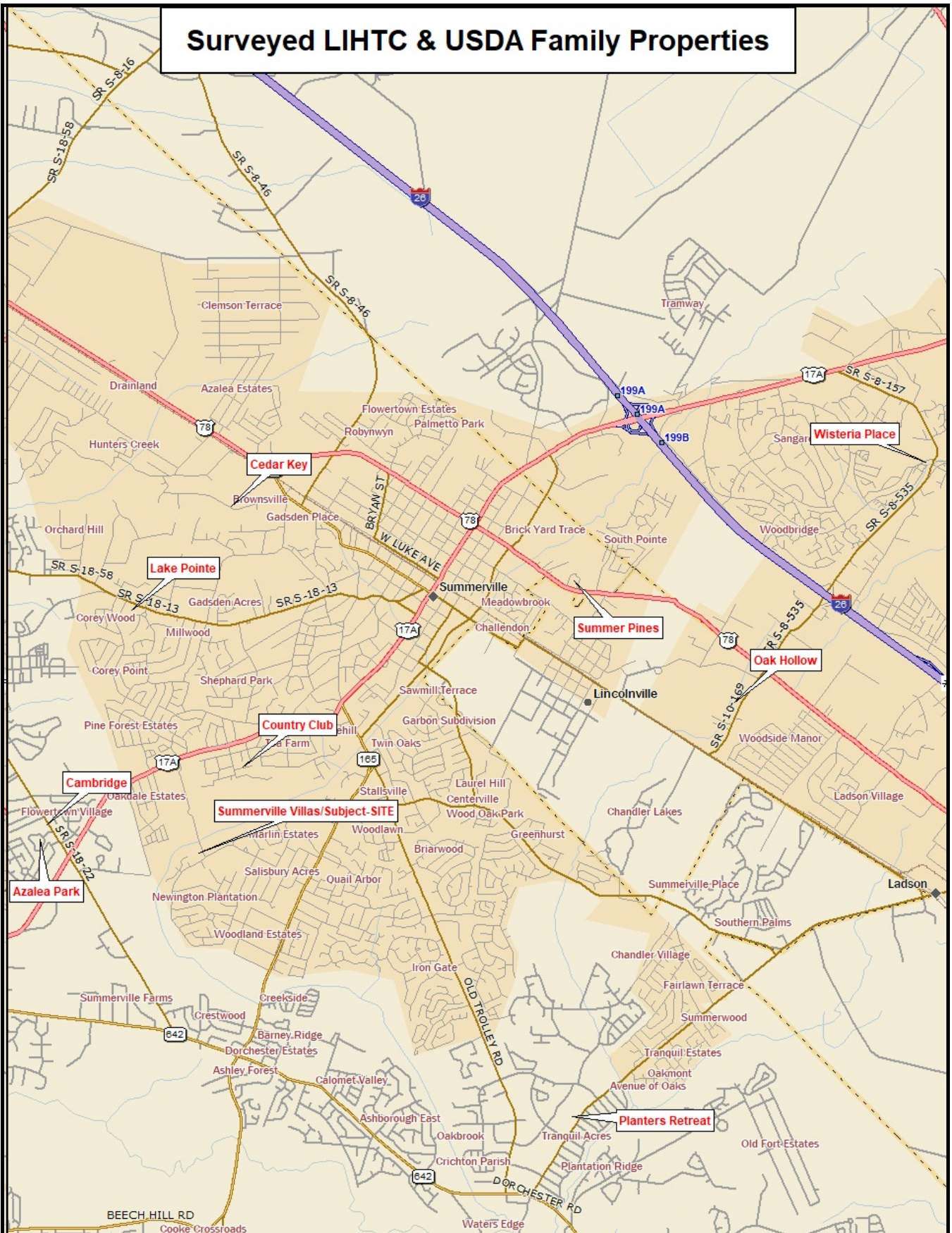
Table 18 exhibits the key amenities of the subject and the surveyed market rate apartment properties. Overall, the subject is competitive with the area conventional supply, regarding the unit amenity package. In particular owing to the subject being a USDA development it is not competitive or comparable to a Class A market rate development amenity packages, in particular those offering a swimming pool, and an extensive package of clubhouse amenities, and is marginally competitive with the area Class B properties.

Table 18													
SURVEY OF CONVENTIONAL COMPETITIVE SUPPLY UNIT & PROJECT AMENITIES													
Complex	A	B	C	D	E	F	G	H	I	J	K	L	M
Subject	x	x			x	x	x	x	x	x	x	x	x
Bridge Pointe	x	x	x		x	x	x	x	x	x	x	x	x
Farmington	x	x	x		x	x	x	x	x	x	x	x	x
Gates @ Summerville	x	x	x	x	x	x	x	x	x	x	x	x	x
Latitude	x	x	x		x	x	x	x	x	x	x	x	x
Martins Creek	x	x	x	x	x	x	x	x	x	x	x	x	x
Oakbrook	x	x	x		x	x	x	x	x	x	x	x	x
Silvana Oaks	x	x	x		x	x	x	x	x	x	x	x	x
Somerset	x	x	x		x	x	x	x	x	x	x	x	x
The Grove @ Oakbrook	x	x	x		x	x	x	x	x	x	x	x	x
The Reserve @ Westbrook	x	x	x		x	x	x	x	x	x	x	x	x
The Tradition @Summerville	x	x	x		x	x	x	x	x	x	x	x	x
Treehaven	x	x	x		x	x	x	x	x	x	x	x	x
Wellington Pl	x	x	x	x	x	x		x	x	x	x	x	x
Westbury Mews	x	x	x		x	x	x	x	x	x	x	x	x

Source: Koontz and Salinger. March, 2018.

Key: A - On-Site Mgmt Office B - Central Laundry C - Pool
 D - Tennis Court E - Playground/Rec Area F - Dishwasher
 G - Disposal H - W/D Hook-ups I - A/C
 J - Cable Ready K - Mini-Blinds L - Community Rm/Exercise Rm
 M - Storage/other (inc. - ceiling fan, microwave, patio/balcony)

Surveyed LIHTC & USDA Family Properties



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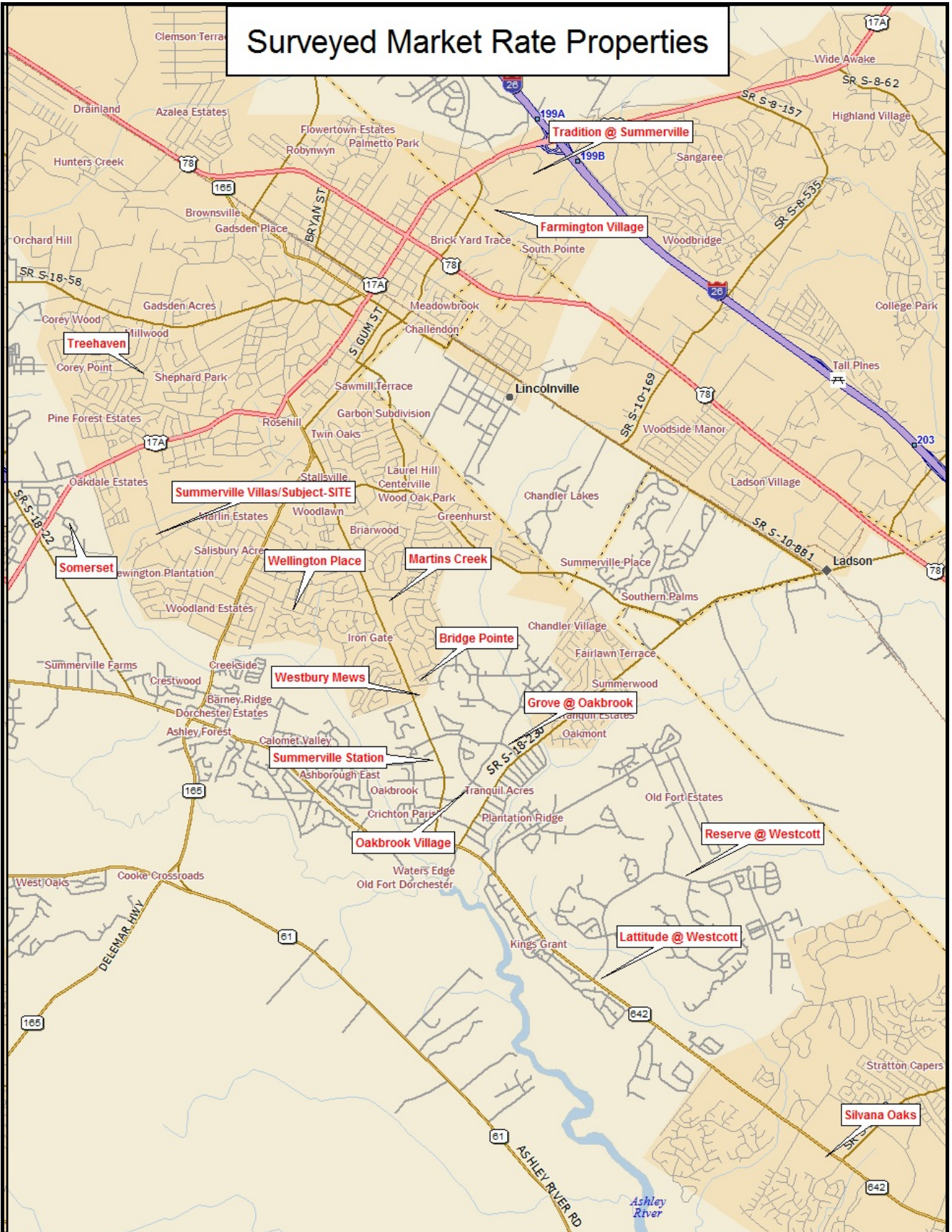
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Surveyed Market Rate Properties

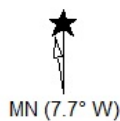


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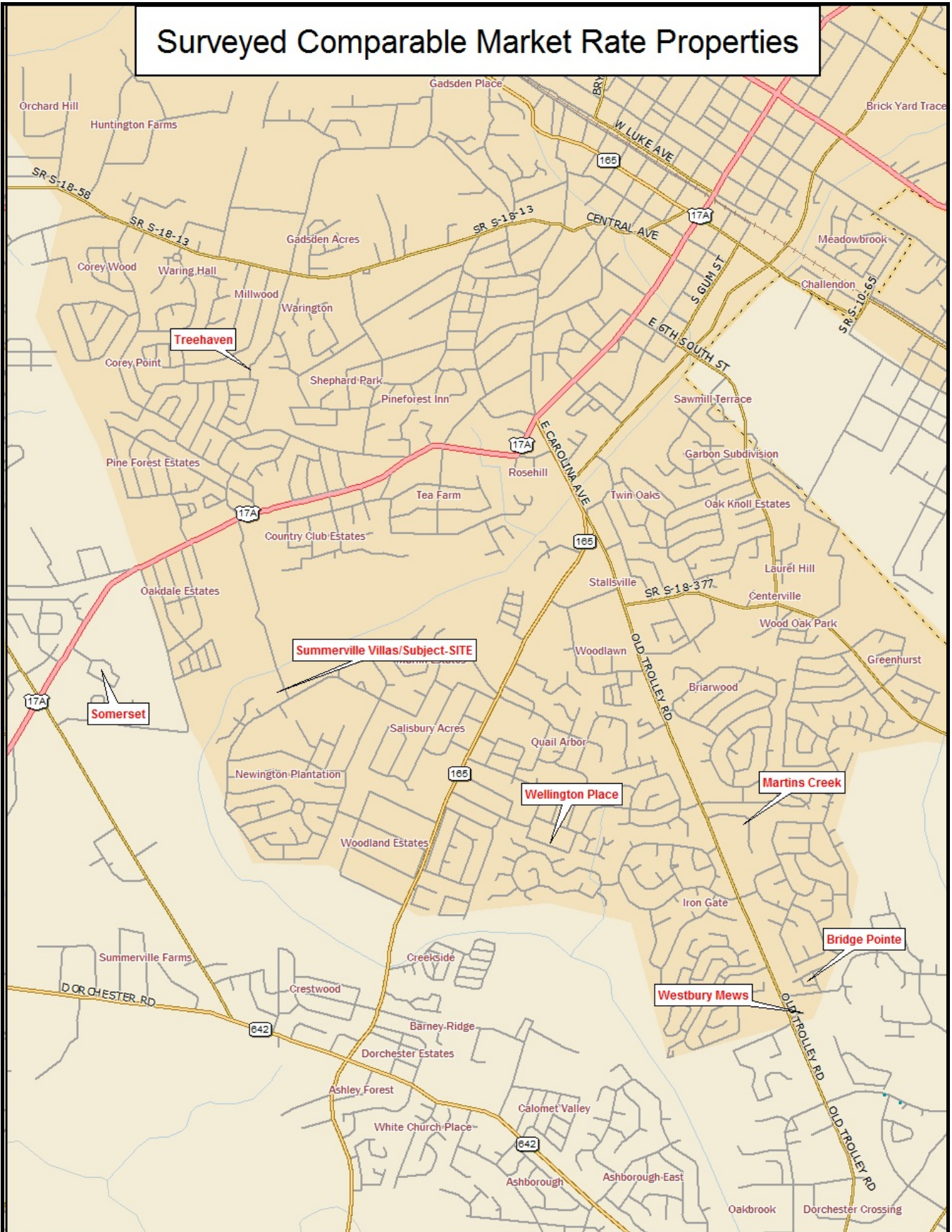
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Data Zoom 11-5

Surveyed Comparable Market Rate Properties



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Data Zoom 12-5

SECTION H
INTERVIEWS

The following observations are comments relating to the subject property via a survey of local contacts interviewed during the course of the market research. The project parameters of the proposed

LIHTC/USDA-family rehab application were presented to the interview source, in particular: the site location, the project size, bedroom mix, income targeting and rents. The following statements were made:

(1) The Section 8 Housing Choice Voucher program managed by the North Charleston Housing Authority has 2,300 vouchers of which 2,042 are issued. Of these vouchers 236 are in use in Summerville. The waiting list has over 1,000 applicants. The waiting list is presently closed. The respondent stated that the need for affordable housing in Summerville has been ongoing and has increased over the past few years. Source: Ms. Bridget Harris, North Charleston Housing Authority, February 13, 2018, (843) 744-3466.

(2) The Section 8 Housing Choice Voucher program for Summerville and Dorchester County that is managed by the SC State Housing Authority covers a 7 county area. The baseline for vouchers for the seven county area is 2,064 vouchers, of which 1,990 are in use. At the time of the survey, Dorchester County is allocated 376 vouchers and currently there are 341 vouchers leased and in use. Presently, there are 881-applicants on the waiting list for a Section 8 Housing Choice Voucher in Dorchester County. The waiting list is closed. It can be up to a six to seven year wait for a voucher. It was stated, that "the need has been ongoing the past few years for additional affordable housing in Dorchester County, but has increased recently". Source: Mr. Ron Phillips, South Carolina State Housing Authority, February 13, 2018, (803) 254-3886.

(3) Ms. Pamela Wike, Planning Assistant, Planning and Economic Development Department, City of Summerville, was contacted, (843) 851-4214. Ms. Wike confirmed the status of apartment developments that were presently under construction, or within the permitted pipeline for development within Summerville.

(4) The manager of the Summer Pines Apartments (USDA-family) stated that the proposed rehab development of Summerville Villas would not negatively impact Summer Pines, as "there is a great need for affordable apartments in Summerville". At the time of the survey, Summer Pines was 100% occupied, and had 101 applicants on the waiting list. Source: Mr Felcia, Hallmark Group.

(5) The manager of the Azalea Park Apartments (LIHTC-family) stated that the proposed rehab development of Summerville Villas would not negatively impact Azalea Park. At the time of the survey, Azalea Park was 100% occupied, and 75 to 80 applicants on a waiting list. Source: Ms Yvonne, Manager, (844) 240-8352.

(6) The manager of the Wisteria Place Apartments (LIHTC-family) stated that the proposed rehab development of Summerville Villas would not negatively impact Wisteria Place. At the time of the survey, Wisteria Place was 100% occupied, and 30+ applicants on a waiting list. Source: Ms Andrea Mays, Intermark Management, (843) 821-2261.

(7) The manager of the Country Club Apartments (LIHTC-family) stated that the proposed rehab development of Summerville Villas would not negatively impact Country Club. At the time of the survey, Country Club was 100% occupied, and 3 applicants on a waiting list. Source: Ms Lanie, Manager, (843) 875-5090.

(8) The manager of the Cedar Key Apartments (LIHTC-family) stated that the proposed rehab development of Summerville Villas would not negatively impact Cedar Key. At the time of the survey, Cedar Key was 100% occupied, and 6 applicants on a waiting list. Source: Ms Kelly, Manager, (843) 695-0250.

(9) Mr. Russ Cornette, Town Engineer, and Ms Pamela Wike, Planning Assistant City of Summerville, was contacted, (843) 851-4214. Mr. Cornet provided information concerning current and proposed infrastructure development in the immediate vicinity of Summerville Villas.

SECTION I
CONCLUSIONS &
RECOMMENDATIONS

1. Project Size - The income qualified target group is large enough to absorb the proposed LIHTC/USDA-family rehab development of **42-units**. The **Capture Rates for the total project, by bedroom type and by Income Segment** are considered to be **acceptable**.

2. The current LIHTC and USDA family apartment market is **not** representative of a soft market. At the time of the survey, the overall estimated vacancy rate of the surveyed LIHTC family properties was 0.6%. At the time of the survey, the overall estimated vacancy rate of the surveyed USDA family properties was 3.6%. The current market rate apartment market is not representative of a soft market. At the time of the survey, the overall estimated vacancy rate of the surveyed market rate apartment properties located within the competitive environment was 5.5%.

3. The proposed complex unit amenity package is considered to be competitive within the PMA apartment market for affordable properties. The proposed complex development amenity package is limited.

4. Bedroom Mix - The subject offers 1BR, 2BR, and 3BR units. Based upon market findings and capture rate analysis, the proposed bedroom mix is considered to be appropriate. All family household sizes will be targeted, from a one person household to large family households.

5. Assessment of rents - The proposed net rents, by bedroom type, will be very competitive within the PMA apartment market at 50% AMI and 60% AMI. The table on the next page, exhibits the rent reconciliation of the proposed LIHTC/USDA property, by bedroom type, and income targeting, with comparable market rate properties.

6. Based upon: (1) an examination of the rent roll and tenant incomes, (2) an examination of historical occupancy rates, and (3) the retention of: (a) the existing 30-units of deep subsidy rental assistance and (b) the typical number of Section 8 voucher holders at the property, it is estimated that the property will retain at least 80% of its tenant base, the most likely/best case rent-up scenario for the property, were the subject 20% vacant, suggests a 1-month rent-up time period (an average of 8-units per month).

7. Based upon the analysis and the conclusions of each of the report sections, in the analyst's professional opinion, it is recommended that the proposed Summerville Villas application **proceed forward based upon market findings**.

The table below exhibits the findings of the Rent Reconciliation Process between the proposed subject net rent, by bedroom type, and by income targeting with the current comparable Market Rate competitive environment. A detailed examination of the Rent Reconciliation Process, which includes the process for defining Market Rent Advantage, is provided within the preceding pages.

Market Rent Advantage

The rent reconciliation process exhibits a very significant subject property rent advantage by bedroom type at 50% and 60% of AMI.

Percent Advantage:

	<u>50% AMI</u>	<u>60% AMI</u>
1BR/1b:	36.0%	36.0%
2BR/1b:	37.5%	37.5%
3BR/1b:	41.0%	41.0%

Overall: 38.2%

Rent Reconciliation			
50% AMI	1BR	2BR	3BR
Proposed subject net rents	\$525	\$574	\$607
Estimated Market net rents	\$825	\$920	\$1025
Rent Advantage (\$)	+\$300	+\$346	+\$418
Rent Advantage (%) rounded	36%	37.5%	41%
60% AMI	1BR	2BR	3BR
Proposed subject net rents	\$525	\$574	\$607
Estimated Market net rents	\$825	\$920	\$1025
Rent Advantage (\$)	+\$300	+\$346	+\$418
Rent Advantage (%) rounded	36%	37.5%	41%

Source: Koontz & Salinger. March, 2018

Recommendation

As proposed in Section B of this study (Project Description), it is of the opinion of the analyst, based upon the findings in the market study, that Summerville Villas (a proposed LIHTC/USDA family rehab development) proceed forward with the development process as presently configured and proposed.

Negative Impact

In the opinion of the analyst, based upon market findings and interviews with LIHTC and USDA property managers, neither significant short term nor long-term negative impact is to be expected within the PMA LIHTC and USDA market. At the time of the survey, the overall estimated vacancy rate of all surveyed LIHTC-family apartment properties was 0.6%. At the time of the survey, the overall estimated vacancy rate of all surveyed USDA-family apartment properties was 3.6%. All seven surveyed LIHTC-family properties maintain a waiting list, ranging in size between 3 and 80 applications. All three surveyed USDA-family properties maintain a waiting list, ranging in size between 1 and 101 applications. Typical occupancy rates at the surveyed LIHTC and USDA family apartment properties ranged between 98% to 100%. In addition, several of the surveyed LIHTC and USDA-family apartment managers and management firms stated that there is still an unmet need for LIHTC supply in the Summerville market and non express a concern of their respective property coming under negative impact should the proposed subject development proceed forward.

Some relocation of family tenants in the existing LIHTC and USDA family properties could occur in any of the properties, particularly those properties absent deep subsidy rental assistance (RA) support. This is considered to be normal when a new property or newly renovated property is introduced within a competitive environment, resulting in very short term negative impact.

Achievable Restricted (LIHTC) Rent

The proposed gross rents, by bedroom type at 50% and 60% AMI are considered to be competitively positioned within the market. In addition, they are appropriately positioned in order to attract income and age qualified Section 8 Housing Choice Voucher holders within Summerville and Dorchester County.

It is recommended that the proposed subject LIHTC/USDA net rents at 50% and 60% AMI remain unchanged, neither increased nor decreased. The proposed LIHTC/USDA development, and proposed subject net rents are in line with the other LIHTC and USDA developments operating in the market without PBRA, deep subsidy USDA rental assistance (RA), or attached Section 8 vouchers at 50% and 60% AMI, when taking into consideration differences in age, unit size and amenity package.

The subject's gross rents are already closely positioned to be under Fair Market Rent for Aiken County, while at the same time operating within a competitive environment. It is recommended that the proposed subject 2BR net rents not be increased, in particular when taking into consideration the subject property's age and income restrictions.

The proposed project design, amenity package, location and net rents are very well positioned to be attractive to the local Section 8 voucher market. Increasing the gross rents to a level beyond the FMR's, even if rent advantage can be achieved, and maintained, is not recommended.

Mitigating Risks

The subject development is very well positioned to be successful in the market place, once the rehab process has been completed. It will offer a product that will be competitive regarding: rent positioning, project design, amenity package and professional management. The major unknown mitigating risk to the development as presently configured will be the status of the local economy during 2018-2019 and beyond.

Another potential mitigating risk is the status of deep subsidy rental assistance. Presently, the subject offers 30-units that have deep subsidy rental assistance (RA). In addition, 4-units are presently occupied by tenants with a Section 8 Housing Choice voucher. The potential exists, however unlikely, that in the future the Federal government will lack funds necessary to maintain existing deep subsidy rental assistance and housing choice vouchers that serve the very low to low income population.

Rent Reconciliation Process

Six market rate properties in Summerville were selected as comparables to the subject. The methodology attempts to quantify a number of subject variables regarding the features and characteristics of a target property in comparison to the same variables of comparable properties.

The comparables were selected based upon the availability of data, general location within the market area, target market, unit and building types, rehabilitation and condition status, and age and general attractiveness of the developments. The rent adjustments used in this analysis are based upon a variety of sources, including data and opinions provided by local apartment managers, LIHTC developers, other real estate professionals, and utility allowances used within the subject market. It is emphasized, however, that ultimately the values employed in the adjustments reflect the subjective opinions of the market analyst.

One or more of the comparable properties may more closely reflect the expected conditions at the subject, and may be given greater weight in the adjustment calculation, while others may be significantly different from the proposed subject development.

Several procedures and non adjustment assumptions were utilized within the rent reconciliation process. Among them were:

- consideration was made to ensure that no duplication of characteristics/adjustments inadvertently took place,
- the comparable properties were chosen based on the following sequence of adjustment: location, age of property, physical condition and amenity package,
- no adjustment was made for the floor/level of the unit in the building; the subject has 1-story and 2-story walk-up buildings and the comparable properties are either 2-story walk-up, or 3-story walk-up properties,
- no "time adjustment" was made; all of the comparable properties were surveyed in February, 2018,
- no "distance or neighborhood adjustment" was made; owing to the fact that comparisons are being all properties located within Summerville,
- no "management adjustment" was made; all of the comparable properties, as well as the subject are (or will be) professionally managed,
- no adjustment was made for project design; none of the properties stood out as being particularly unique regarding design or project layout,

- an adjustment was made for the age of the property; two of the comparables were built in the 1970's, and three of the comparables were built in the 1980's; this adjustment was made on a conservative basis in order to take into consideration the adjustment for condition of the property,
- no adjustment was made - Number of Rooms - this adjustment was taken into consideration in the adjustment for - Square Feet Area (i.e., unit size),
- no adjustment was made for differences in the type of air conditioning used in comparing the subject to the comparable properties; all either had wall sleeve a/c or central a/c; an adjustment would have been made if any of the comps did not offer a/c or only offered window a/c,
- no adjustments were made for range/oven or refrigerator; the subject and all of the comparable properties provide these appliances (in the rent),
- an adjustment was made for storage,
- adjustments were made for Services (i.e., utilities included in the net rent, and trash removal). Neither the subject nor the comparable properties include heat, hot water, and/or electric within the net rent. The subject excludes water and sewer in the net rent, and includes trash removal. One of the comparable properties includes cold water and sewer within the net rent, and one excludes all utilities from the net rent. An adjustment will be made for water, sewer, and trash removal.

ADJUSTMENT ANALYSIS

Several adjustments were made regarding comparable property parameters. The dollar value adjustment factors are based on survey findings and reasonable cost estimates. An explanation is provided for each adjustment made in the Estimate of Market Rent by Comparison.

Adjustments:

- Concessions: None of the six comparable market rate properties offer a rent concession.
- Structure/Floors: No adjustment made.
- Year Built: Two of the comparables were built in the 1970's, and three of the comparable properties were built in the 1980's, and will differ considerably from the subject (after new construction) regarding age. The age adjustment factor utilized is a \$0.50 adjustment per year differential between the subject and the comparable property. Typically, the age adjustment factor is \$1.00. However, since the subject is a proposed rehab development vs. new construction, the age adjustment factor was reduced to \$0.50.

- Square Feet (SF) Area: In order to allow for differences in amenity package, and the balcony/patio adjustment, the overall SF adjustment factor used is .05 per sf per month, for each bedroom type.
- Number of Baths: An adjustment was made for the subject 2BR/1b and 3BR/1b units. The adjustment is \$15 for a ½ bath and \$30 for a full bath.
- Balcony/Terrace/Patio: The subject will offer a patio/balcony with an attached storage closet. The balcony/patio adjustment resulted in a \$5 value for the balcony/patio.
- Disposal: An adjustment is made for a disposal based on a cost estimate. It is estimated that the unit and installation cost of a garbage disposal is \$225; it is estimated that the unit will have a life expectancy of 4 years; thus the monthly dollar value is \$5.
- Dishwasher: An adjustment is made for a dishwasher based on a cost estimate. It is estimated that the unit and installation cost of a dishwasher is \$750; it is estimated that the unit will have a life expectancy of 10 years; thus the monthly dollar value is \$5.
- Washer/Dryer (w/d): The subject will offer a central laundry (CL). If the comparable property provides a central laundry or w/d hook-ups no adjustment is made. If the comparable property does not offer hook-up or a central laundry the adjustment factor is \$40. The assumption is that at a minimum a household will need to set aside \$10 a week to do laundry. If the comparable excluded a washer and dryer in the rent the adjustment factor is also \$40.
- Carpet/Drapes/Blinds: The adjustment for carpet, pad and installation is based on a cost estimate. It is assumed that the life of the carpet and pad is 3 to 5 years and the cost is \$10 to \$15 per square yard. The adjustment for drapes / mini-blinds is based on a cost estimate. It is assumed that most of the properties have between 2 and 8 openings with the typical number of 4. The unit and installation cost of mini-blinds is \$25 per opening. It is estimated that the unit will have a life expectancy of 2 years. Thus, the monthly dollar value is \$4.15, rounded to \$4. Note: The subject and the comparable properties offer carpet and blinds.
- Pool/Recreation Area: The subject offers recreational space with the community building. The estimate for a pool and tennis court is based on an examination of the market rate comps. Factoring out for location, condition, non similar amenities suggested a dollar value of \$5 for a playground, \$15 for a tennis court and \$25 for a pool.
- Water: The subject excludes cold water and sewer in the net rent. Note: The source for the utility estimates by bedroom type is provided by the SC State Housing Finance & Development Authority, Low Country Region.

- Storage: The dollar value for storage is estimated to be \$5.
- Computer Room: The dollar value for a computer room (with internet service) is estimated to be \$5.
- Fitness Room: The dollar value for an equipped fitness room is estimated to be \$5.
- Clubhouse: The dollar value for a clubhouse and/or community room is estimated to be \$5.
- Location: Based on adjustments made for other amenities and variables in the data set analysis a comparable property with a marginally better location was assigned a value of \$10; a better location versus the subject was assigned a value of \$15; a superior location was assigned a value of \$25. Note: None of the comparable properties are inferior to the subject regarding location.
- Condition: Based on adjustments made for other amenities and variables in the data set analysis, the condition and curb appeal of a comparable property that is marginally better than the subject was assigned a value of \$5; a significantly better condition was assigned a value of \$10; and a superior condition / curb appeal was assigned a value of \$15. If the comparable property is inferior to the subject regarding condition / curb appeal the assigned value is - \$10. Note: Given the new construction (quality) of the subject, the overall condition of the subject is classified as being significantly better.
- Trash: The subject includes trash in the net rent. Some of the comparable properties exclude trash in the net rent. An adjustment is made. Note: The source for the trash estimate by bedroom type is provided by the SC State Housing Finance & Development Authority, Low Country Region.

Adjustment Factor Key:

SF - .05 per sf per month

Patio/balcony - \$5

Storage - \$5

Computer Rm, Fitness Rm, Clubhouse - \$5 (each)

Disposal - \$5

Dishwasher - \$5

Carpet - \$5

Mini-blinds - \$4

W/D hook-ups or Central Laundry - \$20 W/D Units - \$40

Pool - \$25 Tennis Court - \$15

Playground - \$5 (Na for elderly) Walking Trail - \$2

Full bath - \$30; ½ bath - \$15

Location - Superior - \$25; Better - \$15; Marginally Better - \$10

Condition - Superior - \$15; Better - \$10; Marginally Better - \$5;
Inferior - minus \$10

Water & Sewer - 1BR - \$40; 2BR - \$52; 3BR - \$68 (Source: SC State Housing & Development Authority, Low Country Region (1/1/2018))

Trash Removal - \$20 (Source: SC State Housing & Development Authority, Low Country Region (1/1/2018))

Age - \$0.50 per year (differential) Note: If difference is less than or near to 5-years, a choice is provided for no valuation adjustment.*

*Could be included with the year built (age) adjustment, thus in most cases will not be double counted/adjusted.

One Bedroom Units							
Subject		Comp # 1		Comp # 2		Comp # 3	
Summerville Villas		Bridge Pointe		Martins Creek		Gates@Summerville	
A. Rents Charged		Data	\$ Adj	Data	\$ Adj	Data	\$ Adj
Street Rent		\$1065		\$857		\$745	
Utilities	t	t		t		t	
Concessions		None		None		None	
Effective Rent		\$1065		\$857		\$745	
B. Design, Location, Condition							
Structures/Stories	1&2	2		2		2	
Year Built/Rehab	2020	2004	\$8	1986	\$17	1975	\$23
Condition	V Good	V Good		V Good		Good	
Location	Good	Good		Good		Good	
C. Unit Amenities							
# of BR's	1	1		1		1	
# of Bathrooms	1	1		1		1	
Size/SF	622	790	(\$8)	793	(\$9)	900	(\$14)
Balcony/Patio/Stor	N/N	Y/Y	(\$10)	Y/Y	(\$10)	Y/N	(\$5)
AC Type	Central	Central		Central		Central	
Range/Refrigerator	Y/Y	Y/Y		Y/Y		Y/Y	
Dishwasher/Disp.	Y/Y	Y/Y		Y/Y		Y/Y	
W/D Unit	N	Y	(\$40)	N		N	
W/D Hookups or CL	Y	Y		Y		Y	
D. Development Amenities							
Clubhouse/Comm Rm	Y	Y		Y		Y	
Pool/Tennis Court	N/N	Y/N	(\$25)	Y/Y	(\$40)	Y/N	(\$25)
Recreation Area	Y	Y		Y		Y	
Computer/Fitness	Y/N	Y/Y	(\$5)	N/Y		Y/Y	(\$5)
F. Adjustments							
Net Adjustment			-\$80		-\$42		-\$26
G. Adjusted & Achievable Rent		\$985		\$815		\$719	
Estimated Market Rent (Avg of 6 comps, rounded)		Next Page	Rounded to:		see Table	% Adv	

One Bedroom Units							
Subject		Comp # 4		Comp # 5		Comp # 6	
Summerville Villas		Treehaven		Wellington Place		Westbury Mews	
A. Rents Charged		Data	\$ Adj	Data	\$ Adj	Data	\$ Adj
Street Rent		\$749		\$880		\$905	
Utilities	t	t		None	\$20	w,s,t	(\$40)
Concessions		None		None		None	
Effective Rent		\$749		\$900		\$865	
B. Design, Location, Condition							
Structures/Stories	1&2	2		2		2&3	
Year Built/Rehab	2020	1978	\$21	1980	\$20	1989	\$16
Condition	V Good	Good		Good		V Good	
Location	Good	Good		Good		Good	
C. Unit Amenities							
# of BR's	1	1		1		1	
# of Bathrooms	1	1		1		1	
Size/SF	622	682	(\$3)	725	(\$5)	551	\$4
Balcony/Patio/Stor	N/N	Y/N	(\$5)	Y/N	(\$5)	Y/N	(\$5)
AC Type	Central	Central		Central		Central	
Range/Refrigerator	Y/Y	Y/Y		Y/Y		Y/Y	
Dishwasher/Disp.	Y/Y	Y/Y		Y/N	\$5	Y/Y	
W/D Unit	N	N		N		Y	(\$40)
W/D Hookups or CL	Y	Y		Y		Y	
D. Development Amenities							
Clubhouse/Comm Rm	Y	Y		Y		Y	
Pool/Tennis Court	N/N	Y/N	(\$25)	Y/Y	(\$40)	Y/N	(\$25)
Recreation Area	Y	Y		Y		Y	
Computer/Fitness	Y/N	N/N	\$5	N/N	\$5	N/N	\$5
F. Adjustments							
Net Adjustment			-\$7		-\$20		-\$45
G. Adjusted & Achievable Rent		\$742		\$880		\$820	
Estimated Market Rent (Avg of 6 comps, rounded)		\$827	Rounded to: \$825		see Table	% Adv	

Two Bedroom Units							
Subject		Comp # 1		Comp # 2		Comp # 3	
Summerville Villas		Bridge Pointe		Martins Creek		Gates@Summerville	
A. Rents Charged		Data	\$ Adj	Data	\$ Adj	Data	\$ Adj
Street Rent		\$1280		\$970		\$792	
Utilities	t	t		t		t	
Concessions		None		None		None	
Effective Rent		\$1280		\$970		\$792	
B. Design, Location, Condition							
Structures/Stories	1&2	2		2		2	
Year Built/Rehab	2020	2004	\$8	1986	\$17	1975	\$23
Condition	V Good	V Good		V Good		Good	
Location	Good	Good		Good		Good	
C. Unit Amenities							
# of BR's	2	2		2		2	
# of Bathrooms	1	1.5	(\$15)	2	(\$30)	1	
Size/SF	815	1154	(\$17)	995	(\$9)	1050	(\$12)
Balcony-Patio/Stor	N/N	Y/Y	(\$10)	Y/Y	(\$10)	Y/N	(\$5)
AC Type	Central	Central		Central		Central	
Range/Refrigerator	Y/Y	Y/Y		Y/Y		Y/Y	
Dishwasher/Disp.	Y/Y	Y/Y		Y/Y		Y/Y	
W/D Unit	N	Y	(\$40)	N		N	
W/D Hookups or CL	Y	Y		Y		Y	
D. Development Amenities							
Clubhouse/Comm Rm	Y	Y		Y		Y	
Pool/Tennis Court	N/N	Y/N	(\$25)	Y/Y	(\$40)	Y/N	(\$25)
Recreation Area	Y	Y		Y		Y	
Computer/Fitness	Y/N	Y/Y	(\$5)	N/Y		Y/Y	(\$5)
F. Adjustments							
Net Adjustment			-\$104		-\$72		-\$24
G. Adjusted & Achievable Rent		\$1176		\$898		\$768	
Estimated Market Rent (Avg of 6 comps, rounded)		Next Page	Rounded to:	see Table	% Adv		

Two Bedroom Units							
Subject		Comp # 4		Comp # 5		Comp # 6	
Summerville Villas		Treehaven		Wellington Place		Westbury Mews	
A. Rents Charged		Data	\$ Adj	Data	\$ Adj	Data	\$ Adj
Street Rent		\$849		\$950		\$1010	
Utilities	t	t		None	\$20	w,s,t	(\$52)
Concessions		None		None		None	
Effective Rent		\$849		\$970		\$958	
B. Design, Location, Condition							
Structures/Stories	1&2	2		2		2&3	
Year Built/Rehab	2020	1978	\$21	1980	\$20	1989	\$16
Condition	V Good	Good		Good		V Good	
Location	Good	Good		Good		Good	
C. Unit Amenities							
# of BR's	2	2		2		2	
# of Bathrooms	1	1.5	(\$15)	1		1	
Size/SF	815	852	(\$2)	925	(\$6)	780	\$2
Balcony/Patio/Stor	N/N	Y/N	(\$5)	Y/N	(\$5)	Y/N	(\$5)
AC Type	Central	Central		Central		Central	
Range/Refrigerator	Y/Y	Y/Y		Y/Y		Y/Y	
Dishwasher/Disp.	Y/Y	Y/Y		Y/N	\$5	Y/Y	
W/D Unit	N	N		N		Y	(\$40)
W/D Hookups or CL	Y	Y		Y		Y	
D. Development Amenities							
Clubhouse/Comm Rm	Y	Y		Y		Y	
Pool/Tennis Court	N/N	Y/N	(\$25)	Y/Y	(\$40)	Y/N	(\$25)
Recreation Area	Y	Y		Y		Y	
Computer/Fitness	Y/N	N/N	\$5	N/N	\$5	N/N	\$5
F. Adjustments							
Net Adjustment			-\$25		-\$44		-\$51
G. Adjusted & Achievable Rent		\$828		\$949		\$911	
Estimated Market Rent (Avg of 6 comps, rounded)		\$922	Rounded to: \$920		see Table	% Adv	

Three Bedroom Units

Subject		Comp # 1		Comp # 2		Comp # 3	
Summerville Villas		Bridge Pointe		Martins Creek		Gates@Summerville	
A. Rents Charged		Data	\$ Adj	Data	\$ Adj	Data	\$ Adj
Street Rent		\$1350		\$1074		\$955	
Utilities	t	t		t		t	
Concessions		None		None		None	
Effective Rent		\$1350		\$1074		\$955	
B. Design, Location, Condition							
Structures/Stories	1&2	2		2		2	
Year Built/Rehab	2020	2004	\$8	1986	\$17	1975	\$23
Condition	V Good	V Good		V Good		Good	
Location	Good	Good		Good		Good	
C. Unit Amenities							
# of BR's	3	3		3		3	
# of Bathrooms	1	2.5	(\$45)	2	(\$30)	1.5	(\$15)
Size/SF	995	1491	(\$25)	1202	(\$10)	1240	(\$12)
Balcony/Patio/Stor	N/N	Y/Y	(\$10)	Y/Y	(\$10)	Y/N	(\$5)
AC Type	Central	Central		Central		Central	
Range/Refrigerator	Y/Y	Y/Y		Y/Y		Y/Y	
Dishwasher/Disp.	Y/Y	Y/Y		Y/Y		Y/Y	
W/D Unit	N	Y	(\$40)	N		N	
W/D Hookups or CL	Y	Y		Y		Y	
D. Development Amenities							
Clubhouse/Comm Rm	Y	Y		Y		Y	
Pool/Tennis Court	N/N	Y/N	(\$25)	Y/Y	(\$40)	Y/N	(\$25)
Recreation Area	Y	Y		Y		Y	
Computer/Fitness	Y/N	Y/Y	(\$5)	N/Y		Y/Y	(\$5)
F. Adjustments							
Net Adjustment			-\$142		-\$73		-39
G. Adjusted & Achievable Rent		\$1208		\$1001		\$916	
Estimated Market Rent (Avg of 6 comps, rounded)		Next Page	Rounded to:	see Table	% Adv		

Three Bedroom Units

Subject		Comp # 4		Comp # 5		Comp # 6	
Summerville Villas		Treehaven		Wellington Place		Westbury Mews	
A. Rents Charged		Data	\$ Adj	Data	\$ Adj	Data	\$ Adj
Street Rent		\$1029		\$1032		\$1165	
Utilities	t	t		None	\$20	w,s,t	(\$68)
Concessions		None		None		None	
Effective Rent		\$1029		\$1052		\$1097	
B. Design, Location, Condition							
Structures/Stories	1&2	2		2		2&3	
Year Built/Rehab	2020	1978	\$21	1980	\$20	1989	\$16
Condition	V Good	Good		Good		V Good	
Location	Good	Good		Good		Good	
C. Unit Amenities							
# of BR's	3	3		3		3	
# of Bathrooms	1	2	(\$30)	1.5	(\$15)	2	(\$30)
Size/SF	995	1032	(\$2)	1079	(\$4)	1163	(\$8)
Balcony-Patio/Stor	N/N	Y/N	(\$5)	Y/N	(\$5)	Y/N	(\$5)
AC Type	Central	Central		Central		Central	
Range/Refrigerator	Y/Y	Y/Y		Y/Y		Y/Y	
Dishwasher/Disp.	Y/Y	Y/Y		Y/N	\$5	Y/Y	
W/D Unit	N	N		N		Y	(\$40)
W/D Hookups or CL	Y	Y		Y		Y	
D. Development Amenities							
Clubhouse/Comm Rm	Y	Y		Y		Y	
Pool/Tennis Court	N/N	Y/N	(\$25)	Y/Y	(\$40)	Y/N	(\$25)
Recreation Area	Y	Y		Y		Y	
Computer/Fitness	Y/N	N/N	\$5	N/N	\$5	N/N	\$5
F. Adjustments							
Net Adjustment			-\$36		-\$34		-\$87
G. Adjusted & Achievable Rent		\$993		\$1018		\$1010	
Estimated Market Rent (Avg of 6 comps, rounded)		\$1024	Rounded to: \$1025		see Table	% Adv	

SECTION J

SIGNED STATEMENT

NCHMA Certification

This market study has been prepared by Koontz & Salinger, a member in good standing in the National Council of Housing Market Analysts (NCHMA). This study has been prepared in conformance with the standards adopted by NCHMA for the market analyst's industry. These standards include the *Standard Definitions of Key Terms Used in Market Studies for Affordable Housing Projects*. These Standards are designed to enhance the quality of market studies and to make them easier to prepare, understand, and use by market analyst and by the end users. These Standards are voluntary only, and no legal responsibility regarding their use is assumed by the National Council of Housing Market Analysts.

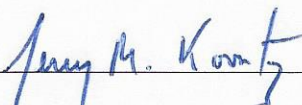
Koontz & Salinger is duly qualified and experienced in providing market analysis for Affordable Housing. The company's principals participate in NCHMA educational and information sharing programs to maintain the highest professional standards and state-of-the-art knowledge. Koontz & Salinger is an independent market analyst firm. No principal or employee of Koontz & Salinger has any financial interest whatsoever in the development for which this analysis has been undertaken. While the document specifies Koontz & Salinger, the certification is always signed by the individual completing the study and attesting to the certification.

SCSHDA Certification

I affirm that I have made a physical inspection of the market and surrounding area and the information obtained in the field has been used to determine the need and demand for LIHTC units. I understand that any misrepresentation of this statement may result in the denial of further participation in the South Carolina State Finance & Development Authority's programs. I also affirm that I have no financial interest project or current business relationship with the ownership and my compensation is not contingent on this project being funded. This report was written according to the SCSHFDA's market study requirements. The information included is accurate and can be relied upon by SCSHFDA to present a true assessment on the low income housing rental market.

CERTIFICATION

Koontz and Salinger
P O. Box 37523
Raleigh, North Carolina 27627

 Date: 3/7/18

Jerry M. Koontz
Market Analyst Author
(919) 362-9085

SECTION K
ANALYST QUALIFICATIONS

Koontz and Salinger conducts Real Estate Market Research and provides general consulting services for real estate development projects. Market studies are prepared for residential and commercial development. Due diligence work is performed for the financial service industry and governmental agencies.

JERRY M. KOONTZ

EDUCATION: M.A. Geography 1982 Florida Atlantic Un.
B.A. Economics 1980 Florida Atlantic Un.
A.A. Urban Studies 1978 Prince George Comm. Coll.

PROFESSIONAL: 1985-Present, Principal, Koontz and Salinger, a Real Estate Market Research firm. Raleigh, NC

1983-1985, Market Research Staff Consultant, Stephens Associates, a consulting firm in real estate development and planning. Raleigh, NC

1982-1983, Planner, Broward Regional Health Planning Council. Ft. Lauderdale, FL.

1980-1982, Research Assistant, Regional Research Associates. Boca Raton, FL.

AREAS OF EXPERIENCE: Real Estate Market Analysis: Residential Properties and Commercial Properties

WORK PRODUCT: Over last 34+ years have conducted real estate market studies, in 31 states. Studies have been prepared for the LIHTC & Home programs, USDA-RD Section 515 & 528 programs, HUD Section 202 and 221 (d) (4) programs, conventional single-family and multi-family developments, Personal care boarding homes, motels and shopping centers.

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SECTION L

PROFILES OF COMPARABLE PROPERTIES & REPRESENTATIVE SAMPLE SURVEY OF THE COMPETITIVE ENVIRONMENT

Part I of the survey of the competitive environment focused upon the LIHTC and USDA apartment properties located within the Summerville PMA. 100% of the LIHTC-family supply was surveyed. Part II consists of a sample survey of conventional market rate apartment properties located within the Summerville PMA, in particular within near proximity to the subject site location. The analysis includes individual summaries and pictures of properties.

The data on the individual complexes, reported on the following pages, were reported by the owners or managers of the specific projects. In some cases, the managers / owners were unable to report on a specific project item, or declined to provide detailed information, or may have inadvertently provided incorrect information. Despite these potential problems, the compilation and synthesis of the status of the comparables (and alternatives) is considered to provide the best indication of the competitive position of the proposed subject development.

Part I - Survey of LIHTC & USDA - Family Apartments

1. Azalea Park Apartments, 527 Orangeburg Rd (844) 240-8352

Contact: Yvonne, Mgr (2/13/18)
Year Built: 2003

Type: LIHTC - fm
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
2BR/2b	32	\$575-\$660	895	\$110	0
3BR/1.5b	32	\$655-\$770	1100	\$136	0
Total	64				0

* Income targeting at 50% & 60% AMI

Typical Occupancy Rate: high 90's
Security Deposit: \$200
Utilities Included: water, sewer, trash

Waiting List: Yes (75-80)
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Community Room	Yes	Pool	No

Project Design: 2 story walk-up

Additional Information: 30% of units are occupied by Section 8 voucher holder; stated that there would be no negative impact



2. Cambridge Apartments, 559 Orangeburg Rd (803) 788-3800
 (843) 873-2158

Contact: Boyd Management (2/13/18)
 Ms Lindy, Mgr **Type:** USDA-RD

Year Built: 1993 **Condition:** Good

<u>Unit Type</u>	<u>Number</u>	<u>Basic Rent</u>	<u>Market Rent</u>	<u>UA</u>	<u>Unit Size sf</u>	<u>Vacant</u>
1BR/1b	8	\$511	\$774	\$119	594	0
2BR/1b	32	\$546	\$930	\$166	864	1
3BR/1.5b	8	\$561	\$1074	\$186	1110	0
Total	48					1

Typical Occupancy Rate: 96% **Waiting List:** Yes (3)
Security Deposit: \$150
Utilities Included: trash removal **Concessions:** No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	No	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	No

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Comm Rm	No	Pool	No

Project Design: one story and townhouse

Additional Information: 0-units have RA; 5-units have Section 8 voucher holders; expects no negative impact



3. Cedar Key Apartments, 246 Pidgeon Bay Rd

(843) 695-0250

Contact: Ms Kelly, Mgr (2/12/18)
Year Built: 2003

Type: LIHTC - fm
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>50% Rent*</u>	<u>60% Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
2BR/1b	16	\$573-\$758		915	\$185	0
3BR/2b	32	\$636-\$859		1100	\$230	0
Total	48					0

* Income targeting at 50% & 60% AMI

Typical Occupancy Rate: high 90's
Security Deposit: \$300
Utilities Included: trash removal

Waiting List: Yes (6)
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Community Room	No	Computer Room	No

Project Design: 2 story walk-up

Additional Information: 25% of units are occupied by Section 8 voucher holder; expects no negative impact



4. Country Club Apartments, 43 Old Holly Ln

(843) 875-5090

Contact: Ms Lanie, Mgr (2/15/18)
Year Built: 1968; rehab 1998

Type: LIHTC - fm
Condition: Good

<u>Unit Type</u>	<u>Number</u>	<u>50% Rent*</u>	<u>60% Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
2BR/1b Garden	16	\$550-\$600		950	\$126	0
2BR/1b TH	16		\$650	1057	\$126	0
Total	32					0

* Income targeting at 50% & 60% AMI

Typical Occupancy Rate: high 90's
Security Deposit: \$200
Utilities Included: water, sewer, trash

Waiting List: Yes (3)
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	No	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	No
Laundry Room	Yes	Storage	No
Community Room	No	Computer Room	No

Project Design: 2 story

Additional Information: 2-units are occupied by Section 8 voucher holder; expects no negative impact



5. Lake Pointe Apartments, 100 Lake Pointe Ave (843) 285-8378
 (844) 212-8590

Contact: Ms Shantea Jenkins, Reg Mgr (2/13/18) **Type:** LIHTC - fm
Year Built: 2014 **Condition:** Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
1BR/1b	8	\$549-\$600	850	\$ 91	0
2BR/2b	20	\$632-\$700	1100	\$126	0
3BR/2b	20	\$707-\$775	1250	\$161	0
4BR/2.5b	8	\$740-\$800	1400	\$189	0
Total	56				0

* Income targeting at 50% & 60% AMI

Typical Occupancy Rate: 99%-100% **Waiting List:** Yes (4-5)
Security Deposit: \$300-\$700 **Concessions:** No
Utilities Included: trash removal

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	No

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Fitness Room	Yes
Community Room	Yes	Computer Room	Yes

Project Design: 2 story walk-up

Additional Information: 13 units are occupied by Section 8 voucher holder; expects no negative impact; tenants from city & 5-10 mile area



6. Oak Hollow Apartments, 3009 Tree Canopy Dr (843) 851-1404
 (614) 396-3200

Contact: Sandy, Reg Mgr, Woda Mgmt (2/26/18) **Type:** LIHTC - fm
Year Built: 2007 **Condition:** Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
3BR/1b	24	\$700-\$850	1234	\$170	1
4BR/1.5	20	\$773-\$960	1367	\$199	0
Total	44				1

* Income targeting at 50% & 60% AMI

Typical Occupancy Rate: 99% **Waiting List:** Yes (45)
Security Deposit: 1 month rent **Concessions:** No
Utilities Included: water, sewer, trash

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	No
Laundry Room	Yes	Pool	No
Community Room	Yes	Exterior Storage	Yes

Project Design: single-family home for rent

Additional Information: 13-units are occupied by Section 8 voucher holder; expects no negative impact



7. Planters Retreat Apartments, 4370 Ladson Rd (843) 832-6111

Contact: Jasmine, Intermark Mgmt (2/12/18)
Year Built: 2006

Type: LIHTC - fm
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
2BR/2b	96	\$819	1082	\$111	2
3BR/2b	96	\$938	1322	\$136	0
Total	192				2

* Income targeting at 60% AMI

Typical Occupancy Rate: mid to high 90's **Waiting List:** Yes (7)
Security Deposit: \$300 **Concessions:** No
Utilities Included: trash removal

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Pool	Yes
Community Room	Yes	Business Room	Yes

Project Design: 2 & 3 story walk-up

Additional Information: 75-units are occupied by Section 8 voucher holder; expects no negative impact



8. Summer Pines Apartments, 400 Diana Ct

(843) 875-2519
(770) 084-2100

Contact: Hallmark Group (2/12/18)
Ms Felcia, Mgr

Type: USDA-RD

Year Built: 1979

Condition: Good

<u>Unit Type</u>	<u>Number</u>	<u>Basic Rent</u>	<u>Market Rent</u>	<u>UA</u>	<u>Unit Size sf</u>	<u>Vacant</u>
1BR/1b	8	\$484	\$679	\$102	695	0
2BR/1b	36	\$524	\$779	\$117	928	0
3BR/1.5b	4	\$579	\$826	\$132	1035	0
Total	48					0

Typical Occupancy Rate: 99%-100%
Security Deposit: 1 month's rent
Utilities Included: trash removal

Waiting List: Yes (101)
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	No	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	No	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Comm Rm	No	Pool	No

Project Design: one story

Additional Information: 0-units have RA; 2-units have Section 8 voucher holders; expects no negative impact



9. Summerville Villas, 350 Luden Dr (the Subject) (843) 871-6823

Contact: Alex Lawrence, GEM Mgmt (2/21/18) **Type:** USDA-RD

Year Built: 1984 **Condition:** Fair to Good

<u>Unit Type</u>	<u>Number</u>	<u>Basic Rent</u>	<u>Market Rent</u>	<u>UA</u>	<u>Unit Size sf</u>	<u>Vacant</u>
1BR/1b	8	\$543	\$682	\$115	622	1
2BR/1b	24	\$574	\$713	\$145	815	3
3BR/1b	10	\$607	\$746	\$176	995	0
Total	42					4

Typical Occupancy Rate: 96%-97%

Waiting List: Yes (17)

Security Deposit: \$250

Utilities Included: trash removal

Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	No	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	No	Patio/Balcony	No

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Comm Rm	No	Picnic Area	Yes

Project Design: one & 2 story

Additional Information: 30-units have RA; 4-units have Section 8 voucher holders; 2BR units in greatest demand



10. Wisteria Place Apartments, 800 Sangaree Pkwy (843) 821-2261

Contact: Ms Andrea Mays, Intermark (2/15/18)
Year Built: 2006

Type: LIHTC - fm
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>50% Rent*</u>	<u>60% Rent*</u>	<u>Unit Size</u> sf	<u>Utility Allowance</u>	<u>Vacant</u>
2BR/2b	32	\$664	\$819	1082	\$111	0
3BR/2b	32	\$759	\$938	1322	\$136	0
Total	64					0

* Income targeting at 50% & 60% AMI

Typical Occupancy Rate: 97%-98%
Security Deposit: \$300
Utilities Included: water, sewer, trash

Waiting List: Yes (30+)
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	No

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Community Room	No	Computer Room	No

Project Design: 3 story walk-up

Additional Information: 18-units are occupied by Section 8 voucher holder; expects no negative impact



Survey of the Competitive Environment-Market Rate

1. Bridge Pointe, 100 Bridge Pointe Ln

(843) 486-0440

Contact: Ms Beverly
Year Built: 2004

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	24	\$1065	790	\$1.35	2
2BR/1.5b	22	\$1280	1154	\$1.11	1
2BR/2b	16	\$1055	1074	\$0.98	6
2BR/2.5b	36	\$1210	1181	\$1.02	1
3BR/2.5b	20	\$1350	1491	\$0.91	3
3BR/2.5b	12	\$1500	1668	\$0.90	0
Total	130				13

Typical Occupancy Rate: mid 90's
Security Deposit: \$200
Utilities Included: trash removal

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	Yes	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Business Center	Yes
Fitness Center	Yes	Pool	Yes

Project Design: 2-story

Additional Information: garage premium-\$100; rent based upon LRO



2. Farmington Village, 2100 Farm Springs Rd (843) 261-6171

Contact: Ms Teresa, Lsg Consultant
Year Built: 2007

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	48	\$1022	696	\$1.47	1
1BR/1b	24	\$ 997	984	\$1.01	1
2BR/2b	36	\$1112	1084-1192	\$0.93-\$1.03	1
2BB/2b	104	\$1127	1133-1275	\$0.88-\$0.99	0
2BR/2b	36	\$1182	1227	\$0.96	0
3BR/2b	32	\$1267	1305-1430	\$0.89-\$0.97	0
Total	280				3

Typical Occupancy Rate: mid to high 90's
Security Deposit: \$200 to 1 month
Utilities Included: None
Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Fitness Center	Yes	Pool	Yes
Business Ctr	Yes	Car Wash Area	Yes

Project Design: 2 & story walk-up

Additional Information: rents based upon LRO system



3. Latitude @ Westcott, 9580 Old Glory Ln

(843) 851-3665

Contact: Ms Casey, Mgr
Date Built: 2009

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Size sf</u>	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	24	\$1014-\$1409	833	\$1.22-\$1.69	4
2BR/1b	72	\$1051-\$1286	1122	\$0.94-\$1.15	8
2BR/2b	146	\$1090-\$1437	1164	\$0.94-\$1.23	6
3BR/2b	48	\$1329-\$1588	1438	\$.092-\$1.10	3
Total	290				21

Typical Occupancy Rate: 95%-97%
Utilities Included: None
Security Deposit: \$100

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	Yes	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes (office)	Pool	Yes
Laundry Room	No	Business Center	Yes
Clubhouse	Yes	Recreation Area	Yes
Storage	Yes	Fitness Room	Yes

Design: 3 story

Additional Info: gated entry, garages, rent based upon Yieldstar



4. Martins Creek, 700 Martins Creek Blvd

(843) 871-9701

Contact: Ms Jessica, Lsg Consultant
Year Built: 1986

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size sf</u>	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	48	\$847-\$867	793	\$1.07-\$1.09	1
2BR/2b	128	\$910-\$1030	995	\$0.91-\$1.04	0
3BR/2b	24	\$1035-\$1113	1202	\$0.86-\$0.93	0
Total	200				1

Typical Occupancy Rate: mid to high 90's
Security Deposit: 1 month's rent
Utilities Included: trash removal

Waiting List: "as needed"
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Tennis Court	Yes
Clubhouse	Yes	Pool	Yes

Project Design: 2-story



5. Oakbrook Village, 111 Springview Ln

(843) 405-7885

Contact: Ms Tierney, Mgr
Year Built: 2006

Date: February 13, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	24	\$890-\$940	728	\$1.22-\$1.29	0
2BR/2b	120	\$1100-\$1175	1178	\$0.93-\$1.00	2
3BR/2b	48	\$1325-\$1375	1417	\$.094-\$0.97	0
Total	192				2

Typical Occupancy Rate: 96%
Security Deposit: \$0 to 1 month's rent
Utilities Included: trash removal (\$10)

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	Yes	Business Center	Yes

Project Design: 3 story walk-up

Additional Information: "low turnover"; WL = 1st come / 1st serve



6. Silvana Oaks Apartments, 8439 Dorchester Rd (843) 628-0077

Contact: Ms Melissa, Lsg Consultant
Year Built: 2009

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	40	\$1010	770	\$1.31	0
1BR/1b	40	\$1050	850	\$1.24	0
2BR/2b	88	\$1045-\$1110	1100	\$0.95-\$1.01	2
3BR/2b	40	\$1250-\$1315	1200	\$1.04-\$1.10	1
Total	208				3

Typical Occupancy Rate: mid to high 90's
Security Deposit: \$200 to 1 month's rent
Utilities Included: None
Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	Yes	Business Center	Yes

Project Design: 3 story walk-up

Additional Information: computer center, rent based upon LRO



7. Gates @ Summerville, 1225 Boonehill Rd

(843) 873-6555

Contact: Ms Shakira, Lsg Consultant
Year Built: 1975 rehab - 2017

Date: February 13, 2018
Condition: Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	50	\$710-\$780	900	\$.79-\$.87	6
2BR/1b	84	\$788-\$796	1050	\$.75-\$.76	0
2BR/1.5b	84	\$813-\$830	1050	\$.77-\$.79	30
3BR/1.5b	11	\$950-\$960	1240	\$.76-\$.77	0
3BR/2b	11	\$960-\$995	1240	\$.77-\$.80	13
Total	240				49

Typical Occupancy Rate: 90%
Security Deposit: \$100-\$400
Utilities Included: trash

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Business Center	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	Yes	Tennis Court	No

Project Design: 2 story walk-up

Additional Information: FKA - Somerset Apartments



8. Summerville Station, 1660 Old Trolley Rd

(843) 628-7547

Contact: Ms Whitney
Year Built: 1974 rehab - 2017

Date: February 13, 2018
Condition: Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	48	\$861-\$939	700	\$1.23-\$1.34	2
2BR/2b	128	\$877-\$986	1000	\$0.88-\$0.99	12
3BR/2b	24	\$1247-\$1252	1200	\$1.04	0
Total	200				14

Typical Occupancy Rate: high 90's
Security Deposit: \$150 to 1 month
Utilities Included: None

Waiting List: 1st come/1st serve
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	Yes (premium)	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	No	Tennis Court	Yes

Project Design: 2 story walk-up

Additional Information: rents based on Rent Maximizer



9. The Grove @ Oakbrook, 325 Midland Pkwy

(843) 875-1757

Contact: Shawn, Mgr
Year Built: 2002

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Size sf</u>	<u>Per SF</u>	<u>Vacant</u>
1BR/1b	24	\$1010-\$1070	972	\$1.04-\$1.10	1
1BR/1b	36	\$930-\$995	888	\$1.05-\$1.12	0
2BR/2b	56	\$1065-\$1125	1080	\$0.99-\$1.04	0
2BR/2b	108	\$1130-\$1190	1235	\$0.91-\$0.96	1
3BR/2b	56	\$1270-\$1330	1292	\$0.98-\$1.03	1
Total	280				3

Typical Occupancy Rate: mid to high 90's
Security Deposit: \$250 to 1 month's rent
Utilities Included: water, sewer, trash

Waiting List: Yes (1)
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	Yes	Business Center	Yes

Project Design: 3 story walk-up

Additional Information: select units have fireplace, premiums for garage, 1st floor unit \$30 premium



10. The Reserve @ Westcott, 4976 Westcott Blvd (843) 486-0060

Contact: Ms Brandy, Lsg Consultant
Year Built: 2004

Date: February 15, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Size sf</u>	<u>Per SF</u>	<u>Vacant</u>
1BR/1b	120	\$940-\$1020	779-864	\$1.18-\$1.21	18
2BR/2b	32	\$1050-\$1120	1048-1146	\$0.98-\$1.00	2
2BR/2b	50	\$1090-\$1135	1064-1126	\$1.00-\$1.02	2
2BR/2b	50	\$1125-\$1155	1048-1146	\$1.01-\$1.07	2
3BR/2b	36	\$1295-\$1360	1234-1331	\$1.02-\$1.05	7
Total	288				31

Typical Occupancy Rate: low to mid 90's
Security Deposit: \$100 - \$500
Utilities Included: None

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	Yes	Business Center	Yes

Project Design: 3 story walk-up

Additional Information: select units have fireplace; premium for garage; sunrooms; walking trail



11. The Tradition @ Summerville, 325 Marymeade Dr (843) 821-4500

Contact: Ms Roberta, Lsg Consultant
Year Built: 2004

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Size sf</u>	<u>Per SF</u>	<u>Vacant</u>
1BR/1b	24	\$930-\$1070	652	\$1.43-\$1.64	4
1BR/1b	40	\$996-\$1102	790	\$1.26-\$1.39	0
2BR/1b	60	\$959-\$1160	933	\$1.03-\$1.24	4
2BR/2b	98	\$1028-\$1186	1050	\$0.98-\$1.13	8
3BR/2b	12	\$1338-\$1463	1276	\$1.05-\$1.15	0
Total	232				16

Typical Occupancy Rate: low to mid 90's
Security Deposit: \$200
Utilities Included: None

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	Yes	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	No	Storage	Yes
Clubhouse	Yes	Pool	Yes
Fitness Ctr	Yes	Business Center	Yes

Project Design: 3 story walk-up

Additional Information: on-site theater, \$125 premium for garage; walking trail; rents based on Yieldstar



12. Treehaven Apartments, 400 Pinewood Dr

(843) 873-3356

Contact: Ms Kira, Mgr
Year Built: 1978

Date: February 12, 2018
Condition: Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	40	\$749	682	\$1.10	1
2BR/1.5b	40	\$849	852	\$0.99	1
3BR/2b	8	\$1029	1032	\$0.99	0
Total	88				2

Typical Occupancy Rate: mid 90's
Security Deposit: \$300 to 1 month
Utilities Included: trash

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	No
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Clubhouse	Yes	Pool	Yes
Fitness Ctr	No	Tennis Court	No

Project Design: 2 story walk-up

Additional Information:



13. Wellington Place Apartments, 1 Bosquet Ct

(843) 873-7071

Contact: Ms Diana, Lsg Consultant
Year Built: 1980 (recently renovated)

Date: February 12, 2018
Condition: Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	25	\$880	725	\$1.21	0
1BR/1.5b	25	\$915	945	\$0.97	0
2BR/1b	20	\$920-\$980	925	\$0.99-\$1.06	0
2BR/1.5b	30	\$960-\$1000	1050	\$0.91-\$0.95	0
3BR/1.5b	12	\$1005-\$1060	1079	\$0.93-\$0.98	0
3BR/1.5b	12	\$1035-\$1095	1155	\$0.90-\$0.95	0
Total	124				0

Typical Occupancy Rate: high 90's
Security Deposit: \$200 to 1 month
Utilities Included: None

Waiting List: 1st come 1st serve
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	No	Window Treatment	Yes
Washer/Dryer	No	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Clubhouse	Yes	Pool	Yes
Fitness Ctr	No	Tennis Court	Yes

Project Design: 2 story walk-up

Additional Information: BR mix was estimated



14. Westbury Mews Apartments, 1425 Old Trolley Rd (843) 875-2005

Contact: Ms Elena, Mgr
Year Built: 1989

Date: February 12, 2018
Condition: Very Good

<u>Unit Type</u>	<u>Number</u>	<u>Rent</u>	<u>Unit Size</u> sf	<u>Rent Per SF</u>	<u>Vacant</u>
1BR/1b	18	\$905	551	\$1.64	0
1BR/1b	18	\$980	636	\$1.54	2
1BR/1b w/den	8	\$1005	877	\$1.15	0
2BR/1b	46	\$1010	780	\$1.29	1
2BR/2b	26	\$1115	1007	\$1.11	1
3BR/2b	16	\$1165	1163	\$1.00	0
Total	132				4

Typical Occupancy Rate: high 90's
Security Deposit: \$300
Utilities Included: water, sewer, trash

Waiting List: No
Concessions: No

Amenities - Unit

Stove	Yes	Air Conditioning	Yes
Refrigerator	Yes	Cable Ready	Yes
Dishwasher	Yes	Carpeting	Yes
Disposal	Yes	Window Treatment	Yes
Washer/Dryer	Yes	Ceiling Fan	Yes
W/D Hook Up	Yes	Patio/Balcony	Yes

Amenities - Project

On-Site Mgmt	Yes	Recreation Area	Yes
Laundry Room	Yes	Storage	No
Clubhouse	Yes	Pool	Yes
Fitness Ctr	No	Tennis Court	No

Project Design: 2 & 3 story walk-up

Additional Information: new flooring, new fixtures & appliances



NCHMA Market Study Index

Members of the National Council of Housing Market Analysts provide the following checklist referencing various components necessary to conduct a comprehensive market study for rental housing. By completing the following checklist, the NCHMA Analyst certifies that he or she has performed all necessary work to support the conclusions included within the comprehensive market study. Similar to the Model Content Standards, General Requirements are detailed first, followed by requirements required for specific project types. Components reported in the market study are indicated by a page number.

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APPENDIX

NCHMA CERTIFICATION

UTILITY ALLOWANCES

RENT ROLL

PROPERTY COMPLIANCE REPORT

SCOPE OF WORK

Certificate of Membership

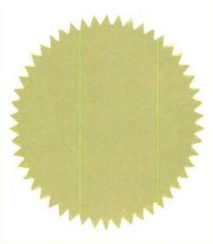
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National Council of Affordable
Housing Market Analysts

National Council of Housing Market Analysts
1400 16th St. NW
Suite 420
Washington, DC 20036
202-939-1750

Membership Term
7/01/2017 to 6/30/2018



Thomas Amdur
Executive Director, NH&RA



Rural Development

December 7, 2017

Kingstree
Service Center

502 Martin Luther
King, Jr. Avenue,
Kingstree, SC 29556

GEM Management
2021 Cross Beam Drive
Charlotte NC 28217

Voice: 843.354.9613
Fax: 855.589.9003

RE: Summerville Villas - **CORRECTED**

You are hereby notified that the USDA, Rural Development has reviewed the request for a change in shelter costs for the subject complex and considered all justifications provided by management. Rural Development has approved the following rent/utility rates listed below. The changes for all units will become effective on **January 1, 2018**.

The approved rent changes are as follows: CHANGE

<u>Unit Size</u>	<u>Present Rent</u>		<u>Approved Rent</u>	
	<u>Basic</u>	<u>Note</u>	<u>Basic</u>	<u>Note</u>
1 BR	\$538	\$677	\$543	\$682
2 BR	\$569	\$708	\$574	\$713
3 BR	\$602	\$741	\$607	\$746

The approved utility rate changes are as follows: CHANGE

<u>Unit Size</u>	<u>Present Rate</u>	<u>Approved Rate</u>
1 BR	\$113	\$115
2 BR	\$139	\$145
3 BR	\$214	\$176

Should you have any questions or concerns, please contact this office.

You must notify the tenants of Rural Development's approval of the rent changes by posting this letter in the same manner as the "NOTICE TO TENANTS OF PROPOSED RENT (OCCUPANCY CHARGE) AND/OR UTILITY ALLOWANCE CHANGE." This notification must be posted in a conspicuous place and cannot be substituted for the usual written notice to each individual tenant.

"USDA is an equal opportunity provider and employer."

If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at http://www.ascr.usda.gov/complaint_filing_cust.html, or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202) 690-7442 or email at program.intake@usda.gov.

This approval does not authorize you to violate the terms of any lease you currently have with your tenants.

For those tenants receiving rental assistance (RA), their costs for rent (Occupancy charge) and utilities will continue to be based on the higher of 30 percent of their adjusted monthly income or 10 percent of gross monthly income or if the household is receiving payments for public assistance from a public agency, the portion of such payments which is specifically designated by that agency to meet the household's shelter cost. If tenants are receiving Housing and Urban Development (HUD) Section 8 subsidy assistance, their costs for rent and utilities will be determined by the current HUD formula.

This rate and utility allowance change is conditioned on the requirement that you carry out the energy conservation measures and operating practices as determined necessary by the project energy audit.

All tenants are required to pay the changed amount of rents indicated in the notice of approval.

Any tenant who does not wish to pay the Rural Development approved rent changes may give the owner a 30-day notice that they will vacate. The tenant will suffer no penalty as a result of this decision to vacate, and will not be required to pay the changed rent from the effective date of the changed rent. However, if the tenant later decides to remain in the unit, the tenant will be required to pay the changed rent from the effective date of the changed rent.

Sincerely,



Albertha M. Graham
Area Specialist

cc: MFH, Columbia, SC

Rent Roll

Summerville Villas (112)

Report Date: 02/2018

Building: 1

<u>Unit</u>	<u>Tenant</u>	<u>Move In</u>	<u>Lease End</u>	<u>Description</u>	<u>Potential</u>	<u>Net Rent</u>	<u>Lease</u>	<u>Sq. Ft.</u>
Units with Square Footage Set								
01	Washington, Lanisha	04/29/2016	03/31/2018	S2	\$574.00	\$148.00	148.00	720
02	Hopkin, Josenia	05/15/2014	04/30/2018	S2	\$574.00	\$158.00	158.00	720
03	Pettigrew, Candace	08/10/2015	07/31/2018	S2	\$574.00	\$313.00	313.00	720
04	Hart, Letita	11/24/2015	10/31/2018	S2	\$574.00	\$68.00	68.00	720
05	Goeckel, Matthew	02/27/2015	01/31/2019	S2	\$574.00	\$574.00	574.00	720
06	* VACANT * 2/1/2018 - 2/28/2018			S2	\$574.00	\$0.00	0.00	720
07	Sevcik, Susan	06/28/2012	12/31/2018	S2	\$574.00	\$268.00	268.00	720
08	Moore, Kayla	07/29/2010	11/30/2018	S2	\$574.00	\$574.00	574.00	720
Units in Building: 8								
Occupied Units: 7					\$4,592.00	\$2,103.00	2,103.00	
% Occupied: 88%								

Building: 2

<u>Unit</u>	<u>Tenant</u>	<u>Move In</u>	<u>Lease End</u>	<u>Description</u>	<u>Potential</u>	<u>Net Rent</u>	<u>Lease</u>	<u>Sq. Ft.</u>
Units with Square Footage Set								
09	Lamb, Michelle	05/08/2014	04/30/2018	S2	\$574.00	\$54.00	54.00	720
10	Hyman, Vonnice	02/23/2017	01/31/2019	S2	\$574.00	\$574.00	574.00	720
11	Hyman, Barbara	01/25/2018	01/31/2019	S2	\$574.00	\$172.00	172.00	720
12	Jones, Betty (HAP)	07/06/2015	06/30/2018	S2	\$574.00	\$51.00	574.00	720
13	Cullipher, Sandra	03/07/2017	02/28/2018	S2	\$574.00	\$311.00	311.00	720
14	Blunt, Samentha	01/31/2014	10/31/2018	S2	\$574.00	\$378.00	378.00	720
15	* VACANT * 2/1/2018 - 2/28/2018			S2	\$574.00	\$0.00	0.00	720
16	Walker, Ebonee	03/15/2017	03/31/2018	S2	\$574.00	\$311.00	311.00	720
Units in Building: 8								
Occupied Units: 7					\$4,592.00	\$1,851.00	2,374.00	
% Occupied: 88%								

Building: 3

<u>Unit</u>	<u>Tenant</u>	<u>Move In</u>	<u>Lease End</u>	<u>Description</u>	<u>Potential</u>	<u>Net Rent</u>	<u>Lease</u>	<u>Sq. Ft.</u>
Units with Square Footage Set								
17	Vinluan, Maiah	10/01/2015	09/30/2018	S3	\$607.00	\$0.00	0.00	950
18	Coleman, Crystal	02/12/2015	09/30/2018	S3	\$607.00	\$11.00	11.00	950
Units in Building: 2								
Occupied Units: 2					\$1,214.00	\$11.00	11.00	
% Occupied: 100%								

** = Expired Lease

*MR = Moved out during the report range.

Print Date & Time: 02/20/2018 11:49:48AM

Rent Roll

Summerville Villas (112)

Report Date: 02/2018

Building: 4

Unit	Tenant	Move In	Lease End	Description	Potential	Net Rent	Lease	Sq. Ft.
Units with Square Footage Set								
19	Stoudenmire, Tasha	06/03/2012	06/30/2018	S3	\$607.00	\$21.00	21.00	950
20	Shute, Taryn	11/05/2015	10/31/2018	S3	\$607.00	\$0.00	0.00	950
Units in Building: 2								
Occupied Units: 2					\$1,214.00	\$21.00	21.00	
% Occupied: 100%								

Building: 5

Unit	Tenant	Move In	Lease End	Description	Potential	Net Rent	Lease	Sq. Ft.
Units with Square Footage Set								
21	Mitchell, Melissa	02/03/2017	08/31/2018	S3	\$607.00	\$189.00	189.00	950
22	Jamison, Cheryl	07/19/2011	05/31/2018	S3	\$607.00	\$74.00	74.00	950
Units in Building: 2								
Occupied Units: 2					\$1,214.00	\$263.00	263.00	
% Occupied: 100%								

Building: 6

Unit	Tenant	Move In	Lease End	Description	Potential	Net Rent	Lease	Sq. Ft.
Units with Square Footage Set								
23	Pinckney, Belinda (HAP)	07/21/1997	12/31/2018	S3	\$607.00	\$86.00	607.00	950
24	Ilardi, Santo	12/18/2014	03/31/2018	S3	\$607.00	\$0.00	0.00	950
Units in Building: 2								
Occupied Units: 2					\$1,214.00	\$86.00	607.00	
% Occupied: 100%								

Building: 7

Unit	Tenant	Move In	Lease End	Description	Potential	Net Rent	Lease	Sq. Ft.
Units with Square Footage Set								
25	House, Marie	06/01/2016	05/31/2018	S1	\$543.00	\$5.00	5.00	560
26	Weatherford, Nelson	03/06/2013	02/28/2018	S1	\$543.00	\$102.00	102.00	560
27	Dwight, Sabrina	04/13/2017	03/30/2018	S1	\$543.00	\$543.00	543.00	560
28	* VACANT * 2/1/2018 - 2/28/2018			S1	\$543.00	\$0.00	0.00	560
29	Smith, Maryann (HAP)	02/01/2015	01/31/2019	S1	\$543.00	\$92.00	543.00	560
30	Cochran, Truletta	04/19/2016	03/31/2018	S1	\$543.00	\$254.00	254.00	560
31	White, Cassandra	07/21/2014	06/30/2018	S1	\$543.00	\$173.00	173.00	560
32	Cuevas, Fredeswinda (HAP)	03/03/2017	02/28/2018	S1	\$543.00	\$0.00	543.00	560
Units in Building: 8								
Occupied Units: 7					\$4,344.00	\$1,169.00	2,163.00	
% Occupied: 88%								

** = Expired Lease

*MR = Moved out during the report range.

Print Date & Time: 02/20/2018 11:49:48AM

Compliance Tenant Listing

Summerville Villas

BIN: SC9616031

Building ID: 1

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
01	4/29/2016	Washington,	3/31/2018	3	\$36,840.00	\$12,684.00	2	\$574.00	Qualified
02	5/15/2014	Hopkin, Josenia	4/30/2018	2	\$32,760.00	\$12,516.00	2	\$574.00	Qualified
03	8/10/2015	Pettigrew, Candace	7/31/2018	3	\$37,200.00	\$19,295.90	2	\$574.00	Qualified
04	11/24/2015	Hart, Letita	10/31/2018	2	\$33,060.00	\$8,981.70	2	\$574.00	Qualified
05	2/27/2015	Goeckel, Matthew	1/31/2019	1	\$28,920.00	\$38,220.00	2	\$574.00	Qualified
06		Vacant					2	\$574.00	
07	6/28/2012	Sevcik, Susan	12/31/2018	2	\$33,060.00	\$24,288.43	2	\$574.00	Qualified
08	7/29/2010	Moore, Kayla	11/30/2018	2	\$33,060.00	\$40,000.00	2	\$574.00	Qualified

of Units at Set Aside: 8

% of Units at Set Aside: 100.00%

Units in Building: 8

Qualified Units: 8

% Units Qualified: 100.00%

BIN: SC9616032

Building ID: 2

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
09	5/8/2014	Lamb, Michelle	4/30/2018	2	\$32,760.00	\$8,820.00	2	\$574.00	Qualified
10	2/23/2017	Hyman, Vonnice	1/31/2019	3	\$37,200.00	\$40,290.18	2	\$574.00	Qualified
11	1/25/2018	Hyman, Barbara	12/31/2018	3	\$37,200.00	\$14,019.00	2	\$574.00	Qualified
12	7/6/2015	Jones, Betty (HAP)	6/30/2018	1	\$28,920.00	\$8,124.01	2	\$574.00	Qualified
13	3/7/2017	Cullipher, Sandra	2/28/2018	3	\$36,840.00	\$19,200.00	2	\$574.00	Qualified
14	1/31/2014	Blunt, Samentha	10/31/2018	3	\$37,200.00	\$21,869.88	2	\$574.00	Qualified
15		Vacant					2	\$574.00	
16	3/15/2017	Walker, Ebonee	2/28/2018	4	\$40,920.00	\$19,655.88	2	\$574.00	Qualified

of Units at Set Aside: 8

% of Units at Set Aside: 100.00%

Units in Building: 8

Qualified Units: 8

% Units Qualified: 100.00%

BIN: SC9616033

Building ID: 3

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
17	10/1/2015	Vinluan, Maiah	9/30/2018	3	\$37,200.00	\$7,800.00	3	\$607.00	Qualified
18	2/12/2015	Coleman, Crystal	9/30/2018	3	\$37,200.00	\$8,820.00	3	\$607.00	Qualified

of Units at Set Aside: 2

% of Units at Set Aside: 100.00%

Units in Building: 2

Qualified Units: 2

% Units Qualified: 100.00%

BIN: SC9616034

Building ID: 4

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
19	6/3/2012	Stoudenmire, Tasha	6/30/2018	4	\$41,280.00	\$8,820.00	3	\$607.00	Qualified
20	11/5/2015	Shute, Taryn	10/31/2018	5	\$44,640.00	\$7,540.00	3	\$607.00	Qualified

of Units at Set Aside: 2

% of Units at Set Aside: 100.00%

Units in Building: 2

Qualified Units: 2

% Units Qualified: 100.00%

BIN: SC9616035

Building ID: 5

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
21	2/3/2017	Mitchell, Melissa	8/31/2018	3	\$37,200.00	\$15,080.00	3	\$607.00	Qualified
22	7/19/2011	Jamison, Cheryl	5/31/2018	2	\$32,760.00	\$10,875.60	3	\$607.00	Qualified

of Units at Set Aside: 2

% of Units at Set Aside: 100.00%

Units in Building: 2

Qualified Units: 2

% Units Qualified: 100.00%

BIN: SC9616036

Building ID: 6

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
23	7/21/1997	Pinckney, Belinda	12/31/2018	1	\$28,920.00	\$8,996.44	3	\$607.00	Qualified
24	12/18/2014	Ilardi, Santo	3/31/2018	4	\$40,920.00	\$7,547.40	3	\$607.00	Qualified

of Units at Set Aside: 2

% of Units at Set Aside: 100.00%

Units in Building: 2

Qualified Units: 2

% Units Qualified: 100.00%

BIN: SC9616037

Building ID: 7

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
25	6/1/2016	House, Marie	5/31/2018	1	\$28,680.00	\$4,800.00	1	\$543.00	Qualified
26	3/6/2013	Weatherford,	2/28/2018	1	\$28,680.00	\$9,060.00	1	\$543.00	Qualified
27	4/13/2017	Dwight, Sabrina	3/30/2018	1	\$28,680.00	\$24,193.52	1	\$543.00	Qualified
28		Vacant					1	\$543.00	
29	2/1/2015	Smith, Maryann	1/31/2019	1	\$28,920.00	\$9,248.40	1	\$543.00	Qualified
30	4/19/2016	Cochran, Truletta	3/31/2018	1	\$28,680.00	\$14,751.96	1	\$543.00	Qualified
31	7/21/2014	White, Cassandra	6/30/2018	2	\$33,060.00	\$11,913.94	1	\$543.00	Qualified

of Units at Set Aside: 8 % of Units at Set Aside: 100.00%

Units in Building: 8 Qualified Units: 8 % Units Qualified: 100.00%

BIN: SC9616038 Building ID: 8

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
33	10/30/2015	Cruz, Sandra	9/30/2018	4	\$41,280.00	\$16,204.82	2	\$574.00	Qualified
34	9/23/2013	Campbell,	4/30/2018	2	\$32,760.00	\$16,760.04	2	\$574.00	Qualified
35	9/13/2012	House, Michelle	8/31/2018	2	\$33,060.00	\$17,025.12	2	\$574.00	Qualified
36		Vacant					2	\$574.00	
37	10/24/2016	Bland, Krislynn	9/30/2018	2	\$33,060.00	\$8,400.07	2	\$574.00	Qualified
38	12/31/2014	Varner, Latoya	11/30/2018	4	\$41,280.00	\$19,079.32	2	\$574.00	Qualified
39	3/30/2015	Curlett, Kayla	5/31/2018	3	\$36,840.00	\$10,335.00	2	\$574.00	Qualified
40	9/30/2009	Ash, Josephine	7/31/2018	2	\$33,060.00	\$10,752.11	2	\$574.00	Qualified

of Units at Set Aside: 8 % of Units at Set Aside: 100.00%

Units in Building: 8 Qualified Units: 8 % Units Qualified: 100.00%

BIN: SC9616039 Building ID: 9

% of Units @ 60.00% of Median Income

<u>Unit #</u>	<u>Initial</u> <u>Occupancy</u>	<u>Tenant Name</u>	<u>Expiration</u> <u>Date</u>	<u>No. of</u> <u>Occps</u>	<u>Max.</u> <u>Income</u>	<u>Current</u> <u>Income</u>	<u>No. of</u> <u>BR's</u>	<u>Base</u> <u>Rent</u>	<u>Qualified</u> <u>Non Qualified</u>
41	7/2/2015	Rodriguez, Ismael	5/31/2018	3	\$36,840.00	\$15,123.60	3	\$607.00	Qualified
42	3/28/2014	Crawford, Iashia	9/30/2018	5	\$44,640.00	\$14,383.46	3	\$607.00	Qualified

of Units at Set Aside: 2 % of Units at Set Aside: 100.00%

Units in Building: 2 Qualified Units: 2 % Units Qualified: 100.00%

* Indicates household has exceeded 140% of the current income limit.

** If set aside is deep rent skewed, indicates household has exceeded 170% of the current income limit.

Note: Max Income based on the most current income limits.

PROJECT MANUAL

RENOVATIONS TO

SUMMERVILLE VILLAS

Summerville, SC
704-335-9112

Owner: Summerville Villas SC, LLC
1714 East Boulevard
Charlotte, NC 28203

Architect: Donald C. Harwood Architect, PLLC
13 Kenwood Lane
Greenville, SC
864.915.2126

Date: March 6, 2018



PROJECT NOTE: This project is designed in accordance with the 2006 International Energy Conservation Code.

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NOT USED

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SUMMERVILLE VILLAS WORK WRITE-UP

3.6.18

SITE IMPROVEMENTS:

A. Postal Shelter:

1. Construct a new **Postal Shelter** over the existing postal box located in front of the Office/Laundry Building (see Site Plan for location and details) consisting of (4) 6 x 6 treated wood corner posts, aluminum-wrapped, set in 16" x 16" x 30" deep concrete footings located at the four corners of the existing concrete slab, two beams, consisting of two-treated wood 2 x 8's, aluminum wrapped, extending along the two sides of , and anchored to, the corner posts with beam hangers, 4:12 pitch wood trusses anchored to the top of the beams (include hurricane clips) at 2'-0" oc, and roofing consisting of 5/8" OSB sheathing, 15# roofing felt, and 30 year warranty architectural shingle (see Specifications), 1 x 6 treated wood fascia, aluminum-wrapped, and perforated vinyl soffit and ceiling. (See Specifications).

B. New Recycling Bin:

1. Install new accessible **Recycling Bin** on 5' x 8' x 4" thick reinforced concrete pad (see Site Plan for location and details).

C. Camera Video Security System:

1. Provide a minimum **(8) Camera Video Security System** (see Specifications) with at least one (1) camera monitoring all of the following areas: front of buildings, back of buildings, all levels of breezeways, community room, computer room, rental office, all site entrance/exit roadways, and parking area(s).

D. Existing Playground:

1. Regrade playground area level (within 2% each way).
2. Move Kiddie Play Equipment over to the main Playground.
3. Install 4 x 4 treated wood landscape timber around perimeter of designated Playground area.
4. Install 4" mulch over designated Play Area.
5. Prepare and paint existing play equipment.
6. Install one permanently anchored **accessible bench**, with back, adjacent to the Playground site.

E. Covered Picnic Shelter:

1. Wrap all exposed wood components of the existing Picnic Shelter with vinyl or aluminum.
2. Contractor to confirm that existing picnic tables are accessible.

F. Grading/Infill:

1. Backfill along all sidewalks and concrete landings where the existing grade has settled below the elevation of these surfaces bringing the finished grade level with the surfaces. Tamp backfill to prevent further settling and install grass seed (see Specifications) in these areas.
2. Where the settled grade along the sidewalk/landing is within planting area, mulch (see Specifications) may be used to bring grade back to level with the surfaces.
3. Regrade around perimeter of existing buildings as needed to provide a minimum 6 inches between weep holes at brick areas and between bottom of siding at sided areas and finish grade or mulch.
4. Regrade around perimeter of existing buildings as needed to provide a minimum 5% slope away from foundation walls. Slope shall continue for a minimum of 10 feet from building.
5. All regrading shall include removal of grass and plant material, and preparation for and seeding of regraded area.

G. Dumpster Screens:

1. Remove existing wood screen from (2) dumpster sites and dispose of material legally. Install **new 6' Solid Vinyl Fencing** (see Specifications) along three sides of the two existing dumpster areas (see Site Plan for locations), anchoring the fencing to new 6x 6 treated wood posts set at the corners of the screening and at 6'-0" oc along the three sides of the screening wood posts.
2. Dumpster near HC apartments shall be designated HC accessible. (see Site Plan for plan and details).

H. Landscaping:

1. Prune and trim all existing plant material, tree, and vegetation as needed, removing any dead plant material.
2. Apply 4" mulch to all existing planting beds and around existing trees.

I. Drip Irrigation System:

1. Install a **Drip Irrigation System** to serve all existing landscaped areas. The system shall include all tubing, terminal ends, and timers.

J. New Walking Trail:

1. Grade as needed and install new 4' wide x 1,250 lineal foot **ADA-Accessible Asphalt-Paved Walking Path** (see Specifications) as indicated and detailed on the Site Plan.
2. Install (1) new bench midway along trail as indicated on Site Plan (see Specifications).

K. Sidewalks:

1. Remove existing concrete sidewalks where noted on Site Plan because of excessive cross slopes or deteriorated conditions. Install new 4" thick reinforced concrete walks, matching the width of adjacent walks. Install new walks with maximum 2% cross slope.
2. Remove concrete walks where new ADA compliant curb cuts are to be installed in relation to H/C parking areas and their associated access lanes, as noted on the Site Plan. Install new curb cuts as detailed on the Site Plan.
3. Install new concrete accessible walk from 1-Bedroom Apartment Building to the new Picnic Shelter, approximately 5' x 225'.
4. Extend accessible walk from in front of the former Kiddie Playground to the Office Building, approximately 5' x 40'.

L. Parking Lot:

1. Repair any cracks in existing asphalt pavement.
2. Apply 1-1/4" asphalt top coat to entire surface of all the Site's parking areas.
3. Restripe parking areas to provide parking spaces as listed on the Site Plan.

M. Entrance Sign:

1. Remove existing entrance sign and related supports and dispose of materials legally.
2. Install new 6'-0" wide by 4'-0" high **Entrance Sign** (see Specifications), anchoring it two 16" x 16" x 6'-0" high brick piers each constructed on 32" x 32" x 12" thick concrete footings. Sign shall be located where indicated on the Site Plan.

BUILDING EXTERIOR:

A. Siding and Trim:

1. On all four (4) two-story, and five(5) one-story apartment buildings and the one -story Office/Laundry Building, remove all existing siding (window areas and breezeways) trim (fascia, eaves), soffit material (eaves, breezeway ceilings). Dispose of all materials legally.
2. Install new **0.44" Solid Vinyl Siding and Trim and Vented Ceiling/ Soffit Material** (see Specifications) in place of all existing siding, trim and ceiling/soffit material per manufacturer's recommendations. Caulk all joints between new vinyl components and adjacent non-vinyl surfaces. Vinyl colors shall be as selected by Owner.
3. Install vinyl siding on the new one-story Community Building addition.
4. Install new 5/4 x 6 prefinished (aluminum or vinyl covered) fascia and vented soffit.

B. Windows:

1. Remove all existing windows from the seven (9) Apartment Buildings and the Office/Laundry Building (approximate 186 single-hung windows). Contractor shall donate the windows to local charity or non-profit agency.
 - a) (Install new **Energy Star-rated solid vinyl single window units with Low E insulated glass**, screens, integral trim (see Specifications) per manufacturer's recommendations, in original openings. New units shall match the original window sizes. No reduction in window sizes will be permitted. Flash new window installations per the window manufacturer's recommendation. Caulk all joints between the windows' trim and the adjacent surfaces as recommended by the window manufacturer. Patch any interior surfaces disturbed or damaged during the installation.

C. Roofing, Gutters, and Downspouts:

1. Remove existing asphalt shingles, roofing felt, drip edges, ridge vents, and aluminum gutters and downspouts from all buildings and dispose of material legally.
2. Repair or replace all damaged sheathing, rafters, or trusses. Replace any 3/8" sheathing with a minimum 7/16" sheathing.
3. Install **30 year warranty Architectural-style Anti-Fungal Roof Shingles** (see Specifications). Shingles are to be nailed (not stapled) per manufacturer's instructions.
4. Installation shall include new roofing felt, continuous aluminum drip edges, and continuous aluminum or vinyl 'shingle-over' ridge vents. Install roof shingles over continuous ridge vents to match roof shingles.

5. Install Ice Dam Membrane extending from roof's eave edge to a point 24 inches inside the exterior wall of building, and along all roof valleys extending 24" up each side of valley.
6. After installation of new prefinished fascia, install seamless prefinished aluminum gutters and downspouts (see Specifications).
 - a. Stamped downspout cut-outs in new gutters shall match the size of the new downspouts. An alternate is to install properly sized boots in the gutters to receive the downspouts.
 - b. Connect downspouts to underground leaders where they exist, or provide splash blocks.

D. Additional Attic Insulation:

1. Install sufficient blown-in cellulose insulation (see Specifications) to existing attic insulation in all seven (9) Apartment Building attics, in the existing Office/Laundry Building attic, and in the new Community Building addition attic to achieve **R-38**.

E. Stairs, Handrails/Guardrails at Breezeway Stairs:

- 1) Remove existing handrails and guardrails and existing wall-mounted handrails at all breezeway stairs and landings.
- 2) Remove existing metal stairs at the four two story apartment building breezeways.
- 3) Install new treated wood stairs with code-compliant treads and risers.
- 4) Install new solid vinyl, code-compliant railing and guard railing and wall mounted railing on new stairs, on existing breezeway walls, and on existing landings.

F. Exterior Entry Doors:

1. Prepare and paint all exposed surfaces of all existing front entry doors to apartments and the Community Building and exterior Storage Room doors.
2. If any entry door is damaged/deteriorated beyond repair, notify the Architect immediately. These doors shall be replaced.
3. Remove existing latchsets and locksets and replace with new levered latchsets, keyed function and new lockset. Lockset shall have a thumb latch function on the interior side and be master-keyed. Finish of latchset/lockset shall match the finish of the original equipment.
4. If no peep hole exists, Contractor shall install **one (1) peephole**. At H/C units Contractor shall install **second peephole** complying with ANSI A117.1 – 2009 edition.

G. Building Signs:

1. Remove all existing apartment building numbers (approximately 9), apartment numbers (approximately 42), and Office/Laundry Building numbers. Install new building signs (see Specifications). Install new apartment and Office/Laundry Building numbers to the right of each entry door. All entry numbers shall include braille lettering.

H. Exterior Entry Lighting:

1. Remove existing entry lighting at each apartment entry, and Office/Laundry entries (approximate count 45). Contractor shall donate the light fixtures to local charity or non-profit agency.
2. Install (approximately) 45 wall-mounted exterior **Energy Star rated LED light fixtures** (see Specifications) at all apartment entries, and Office/Laundry and new Community Building entries. Installations shall include re-use of existing electrical rough-in boxes, reuse of existing wiring, and installation of new fixtures per manufacturer's recommendations and Electrical Code regulations.
3. Install new lights in the breezeways of the four two story buildings (approximately 16)

APARTMENT INTERIORS:

A. Typical One Bedroom Apartments:

The following description applies to (7) apartments (see Drawings; Site Plan for location and Floor Plans for layout):

1. Window Blinds:
 - a. Remove all existing window blinds. Contractor shall donate blinds to local charity or non-profit agency. Install new window blinds (see Specifications).
2. Electrical switches, receptacles:
 - a. Contractor shall confirm that all receptacles and switches are functioning, replacing those that are not. Replace all switch and receptacle plates.
3. Entry:
 - a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.

- c. Install new keyed levered latchset and lockset.
 - d. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - e. Prepare and paint walls, ceiling, door, and trim (see Specifications).
4. Coat Closet:
- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - b. Install new levered latchset, Passage function.
 - c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).
5. Hall:
- a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - c. Remove existing smoke detector in Hall and install new **Smoke Detector** hard wired, with battery back-up to smoke detectors in Bedroom (see Specifications) tied together in same electrical circuit.
 6. Prepare and paint walls, ceiling, door, and trim (see Specifications).
7. Kitchen/Dining:
- a. Remove existing refrigerator, range, range hood, sink and sink faucet, wall and base cabinets, countertops, and ceiling mounted light fixtures. Contractor shall donate all of the above to local charity or non-profit agency.
 - b. Remove existing sheet vinyl flooring from Kitchen/Dining areas and dispose of material legally. Remove all residual glue from existing subfloor.
 - c. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
 - d. Replace the existing 4 receptacles with GFCI receptacles and new plates. Install one additional new GFCI receptacle to left of Range location.
 - e. **Replace all water supply valves to the Kitchen fixtures within each apartment.**

- f. Install new base cabinets, wall cabinets, and counter (see Specifications) as delineated on Drawings. The Kitchen cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal.
 - 1) 36" sink base.
 - 2) 18" drawer base.
 - 3) 30" base cabinet.
 - 4) 1026 wall cabinet.
 - 5) 4016 wall cabinet.
 - 6) 2610 wall cabinet.
 - 7) 2626 wall cabinet.
 - 8) 2026 wall cabinet.
 - 9) 10'-0" lf of counter with integral backsplashes.
 - g. Install new Kitchen Appliances (see Specifications):
 - 1) 30" electric range
 - 2) **Energy Star rated** Dishwasher
 - 3) **30" Microwave/Range Hood combo** with recirculating fan. Install (2) **Range Queen** units in each range hood unit.
 - 4) **Energy Star rated 18.0 cu. Ft. refrigerator with ice maker**
 - h. Install new **double bowl** stainless steel sink with levered faucet.
 - a. Install new **Energy Star-rated surface mounted fluorescent light fixture** in Kitchen and new **Energy Star- rated surface mounted LED Ceiling Light Fixture** (see Specifications) in the Dining area.
 - i. Provide and install a **5 lb. ABC rated dry chemical fire extinguisher** mounted within the Kitchen area readily accessible to the tenant.
 - j. Prepare and paint all existing wall, ceiling, and trim surfaces (see Specifications).
8. Living Room:
- a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - c. Contractor shall confirm that the Living Room has a high speed (broadband) Internet hook-up/connection port.
 - d. Prepare and paint walls, ceiling, door, and trim (see Specifications).

9. Bathroom/Dressing Area:

- a. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- b. Remove existing water closet, vanity sink and faucet, shower head, exhaust fan/light, wall-mounted light, bath tub/tub surround/bath fixtures, and bath accessories.
- c. Verify that existing Bathroom door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- d. Install new levered latchset, Privacy function.
- e. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- f. **Replace water supply valves to all Bathroom fixtures.**
- g. Install new **30" wide x 20" deep Vanity Cabinet** with one piece synthetic marble top (see Specifications) and **WaterSense-labeled low flow faucet** (see Specifications). The Vanity cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal.
- h. Install **Water Sense-labeled low flow water closet** (see Specifications).
- i. **Install WaterSense-labeled low flow Shower Head** (see Specifications).
- j. **Install new 3-piece tub to include new surround on three sides and new bath fixture.** Installation will include new tub/shower control and diverter equipped with anti-scald capabilities.
- k. Install new **Energy Star-rated wall mounted LED light and Bath Exhaust Fan** (see Specifications) in Bathroom.
- l. Install new **Energy Star-rated ceiling-mounted LED light** in Dressing area.
- m. Install new Bathroom accessories to include toilet paper holder, towel bar, recessed mirrored medicine cabinet, and shower rod (see Specifications).
- n. Prepare and paint walls, ceiling, trim, and door (see Specifications).

10. Linen Closet:

- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

11. Storage Closet:

- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

12. Mechanical:

- a. Remove existing surface mounted ceiling light fixture and install new **LED Surface Mounted Ceiling Fixture** (see Specifications).
- b. Install new levered latchset, Keyed function.
- c. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- d. Remove existing HVAC air handler and hot water heater from Closet. Remove also exterior condensing unit located outside the apartment. Contractor shall donate equipment to local charity or non-profit agency.
- e. Install new **Energy Star rated 15.0 SEER Energy Star rated HVAC Heat Pump System** with adaptive recovery technology and programmable thermostat (see Specifications). Install air handling unit in room and condensing unit outside in location of original condensing unit, per manufacturer's recommendations and per International Mechanical Code. Connect new air handler into existing ductwork. Include drain pan and overflow switch. Note: Replace all existing ceiling and wall diffusers and return air diffuser.
 - 1) All refrigeration lines must be insulated.
- f. Install **40 Gallon Electric Water Heater 'Low Boy'** (see Specifications). Water heater must be an energy efficient model with an energy factor greater than 0.93. Installation shall include hook-ups to existing electrical circuit and water supply lines and a drain pan with drain piping routed to the outside. Pipe all Water Heater Temperature & Pressure (T&P) relief valve discharges to disposal point, per Code.
- g. Insulate all exposed water lines.
- h. Prepare and paint all existing wall, ceiling, door, and trim surfaces (see Specifications).

13. Bedroom and Closet:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **Carpet** (see Specifications) over this area per manufacturer's recommendations.
- b. Remove existing Closet bifold doors. Frame in for and install a prehung 3068 door assembly, patching adjacent wall surfaces as needed.
- c. Verify that existing Bedroom door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- d. Install new levered latchsets, Privacy function on the Bedroom door and Passage function on the Closet door.
- e. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- f. Remove existing smoke detector in Bedroom and install new **Smoke Detector** hard wired, with battery back-up, to smoke detector in Hall (see Specifications) tied together in same electrical circuit.
- g. Contractor shall confirm that the Bedroom has a **high speed (broadband) Internet** hook-up/connection port.
- h. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom and Closet.

B. Typical Two Bedroom Apartments:

The following description applies to (24) apartments (see Drawings; Site Plan for location and Floor Plans for layout):

1. Window Blinds:

- a. Remove all existing window blinds. Contractor shall donate blinds to local charity or non-profit agency. Install new window blinds (see Specifications).

2. Electrical switches, receptacles:

- a. Contractor shall confirm that all receptacles and switches are functioning, replacing those that are not. Replace all switch and receptacle plates.

3. Entry:
 - a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - c. Install new keyed levered latchset and lockset.
 - d. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - e. Prepare and paint walls, ceiling, door, and trim (see Specifications).

4. Coat Closet:
 - a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - b. Install new levered latchset, Passage function.
 - c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

5. Hall:
 - a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - c. Remove existing smoke detector in Hall and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Bedrooms (see Specifications) tied together in same electrical circuit.
 6. Prepare and paint walls, ceiling, door, and trim (see Specifications).

7. Kitchen:

- a. Remove existing refrigerator, range, range hood, sink and sink faucet, wall and base cabinets, countertops, and ceiling mounted light fixtures. Contractor shall donate all of the above to local charity or non-profit agency.
- b. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- c. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- d. Replace the existing 4 receptacles with GFCI receptacles and new plates. Install one additional new GFCI receptacle to left of Range location.
- e. **Replace all water supply valves to the Kitchen fixtures within each apartment.**
- f. Install new base cabinets, wall cabinets, and counter (see Specifications) as delineated on Drawings. The Kitchen cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal.
 - 1) 36" sink base.
 - 2) 18" drawer base.
 - 3) 30" base cabinet.
 - 4) 1026 wall cabinet.
 - 5) 4016 wall cabinet.
 - 6) 2610 wall cabinet.
 - 7) 2626 wall cabinet.
 - 8) 2026 wall cabinet.
 - 9) 10'-0" lf of counter with integral backsplashes.
- g. Install new Kitchen Appliances (see Specifications):
 - 1) 30" electric range
 - 2) **Energy Star rated** Dishwasher
 - 3) **30" Microwave/Range Hood combo** with recirculating fan. Install (2) **Range Queen** units in each range hood unit.
 - 4) **Energy Star rated 18.0 cu. Ft. refrigerator with ice maker**
- h. Install new **double bowl** stainless steel sink with levered faucet.
- i. Install new **Energy Star-rated surface mounted fluorescent light fixture** in Kitchen.
- j. Provide and install a **5 lb. ABC rated dry chemical fire extinguisher** mounted within the Kitchen area readily accessible to the tenant.
- k. Prepare and paint all existing wall, ceiling, and trim surfaces (see Specifications).

8. Pantry Closet:

- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

9. Storage 2:

- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves.

10. Dining Room:

- a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Install new **Energy Star- rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- c. Prepare and paint walls, ceiling, door, and trim (see Specifications).

11. Living Room:

- a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- c. Contractor shall confirm that the Living Room has a high speed (broadband) Internet hook-up/connection port.
- d. Prepare and paint walls, ceiling, door, and trim (see Specifications).

12. Bathroom:

- a. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- b. Remove existing water closet, vanity sink and faucet, shower head, exhaust fan/light, wall-mounted light, bath tub/tub surround/bath fixtures, and bath accessories.
- c. Verify that existing Bathroom and door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- d. Install new levered latchset, Privacy function.
- e. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- f. **Replace water supply valves to all Bathroom fixtures.**
- g. Install new **30" wide x 20" deep Vanity Cabinet** with one piece synthetic marble top (see Specifications) and **WaterSense-labeled low flow faucet** (see Specifications). The Vanity cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal. Install **Water Sense-labeled low flow water closet** (see Specifications). **Install WaterSense-labeled low flow Shower Head** (see Specifications). **Install new 3-piece tub to include new surround on three sides and new bath fixture.** Installation will include new tub/shower control and diverter equipped with anti-scald capabilities. Install new **Energy Star-rated wall mounted LED light and Bath Exhaust Fan/CFL Light** (see Specifications). Install new Bathroom accessories to include toilet paper holder, towel bar, recessed mirrored medicine cabinet, and shower rod (see Specifications). Prepare and paint walls, ceiling, trim, and door (see Specifications).

13. Storage 1:

- a. Remove existing bifold door. Frame in for and install a prehung 3068 door assembly, patching adjacent wall surfaces as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

14. Linen Closet:

- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

15. Mechanical:

- a. Remove existing surface mounted ceiling light fixture and install new **LED Surface Mounted Ceiling Fixture** (see Specifications).
- b. Install new levered latchset, Keyed function.
- c. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- d. Remove existing HVAC air handler and hot water heater from Closet. Remove also exterior condensing unit located outside the apartment. Contractor shall donate equipment to local charity or non-profit agency.
- e. Install new **Energy Star rated 15.0 SEER Energy Star rated HVAC Heat Pump System** with adaptive recovery technology and programmable thermostat (see Specifications). Install air handling unit in room and condensing unit outside in location of original condensing unit, per manufacturer's recommendations and per International Mechanical Code. Connect new air handler into existing ductwork. Include drain pan and overflow switch. Note: Replace all existing ceiling and wall diffusers and return air diffuser.
 - 1) All refrigeration lines must be insulated.
- f. Install **40 Gallon Electric Water Heater 'Low Boy'** (see Specifications). Water heater must be an energy efficient model with an energy factor greater than 0.93. Installation shall include hook-ups to existing electrical circuit and water supply lines and a drain pan with drain piping routed to the outside. Pipe all Water Heater Temperature & Pressure (T&P) relief valve discharges to disposal point, per Code.
- g. Insulate all exposed water lines.
- h. Prepare and paint all existing wall, ceiling, door, and trim surfaces (see Specifications).

16. Bedroom 1 and Closet 1:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **Carpet** (see Specifications) over this area per manufacturer's recommendations.
- b. Remove existing Closet bifold doors. Frame in for and install a prehung 3068 door assembly, patching adjacent wall surfaces as needed.
- c. Verify that existing Bedroom 1 and Closet 1 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- d. Install new levered latchsets, Privacy function on the Bedroom 1 door and Passage function on the Closet 1 door.
- e. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- f. Remove existing smoke detector in Bedroom 1 and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Hall and Bedroom 2 (see Specifications) tied together in same electrical circuit.
- g. Contractor shall confirm that the Bedroom 1 has a **high speed (broadband) Internet** hook-up/connection port.
- h. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom 1 and Closet 1.

17. Bedroom 2 and Closet 2:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **Carpet** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing Bedroom 2 and Closet 2 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 2 door and Passage function on the Closet 2 door.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Remove existing smoke detector in Bedroom 2 and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Hall and Bedroom 1 (see Specifications) tied together in same electrical circuit.
- f. Contractor shall confirm that the Bedroom 2 has a **high speed (broadband) Internet** hook-up/connection port.
- g. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom and Closet.

C. Typical Three Bedroom Apartments:

The following description applies to (9) apartments (see Drawings; Site Plan for location and Floor Plans for layout):

1. Window Blinds:

- a. Remove all existing window blinds. Contractor shall donate blinds to local charity or non-profit agency. Install new window blinds (see Specifications).

2. Electrical switches, receptacles:

- a. Contractor shall confirm that all receptacles and switches are functioning, replacing those that are not. Replace all switch and receptacle plates.

3. Entry:

- a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- c. Install new keyed levered latchset and lockset.
- d. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Prepare and paint walls, ceiling, door, and trim (see Specifications).

4. Coat Closet:

- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

5. Hall:

- a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- c. Remove existing smoke detector in Hall and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Bedrooms (see Specifications) tied together in same electrical circuit.
- l. Prepare and paint walls, ceiling, door, and trim (see Specifications).

6. Kitchen:

- a. Remove existing refrigerator, range, range hood, sink and sink faucet, wall and base cabinets, countertops, and ceiling mounted light fixtures. Contractor shall donate all of the above to local charity or non-profit agency.
- b. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- c. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- d. Replace the existing 4 receptacles with GFCI receptacles and new plates. Install one additional new GFCI receptacle to left of Range location.
- e. **Replace all water supply valves to the Kitchen fixtures within each apartment.**
- f. Install new base cabinets, wall cabinets, and counter (see Specifications) as delineated on Drawings. The Kitchen cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal.
 - 1) 36" sink base.
 - 2) 18" drawer base.
 - 3) 30" base cabinet.
 - 4) 1026 wall cabinet.
 - 5) 4016 wall cabinet.
 - 6) 2610 wall cabinet.
 - 7) 2626 wall cabinet.
 - 8) 2026 wall cabinet.
 - 9) 10'-0" lf of counter with integral backsplashes.

- g. Install new Kitchen Appliances (see Specifications):
 - 1) 30" electric range
 - 2) **Energy Star** rated Dishwasher
 - 3) **30" Microwave/Range Hood combo** with recirculating fan. Install (2) **Range Queen** units in each range hood unit.
 - 4) **Energy Star** rated **18.0 cu. Ft. refrigerator with ice maker**
 - h. Install new **double bowl** stainless steel sink with levered faucet.
 - i. Install new **Energy Star-rated surface mounted fluorescent light fixture** in Kitchen.
 - j. Provide and install a **5 lb. ABC rated dry chemical fire extinguisher** mounted within the Kitchen area readily accessible to the tenant.
 - k. Prepare and paint all existing wall, ceiling, and trim surfaces (see Specifications).
7. Storage:
- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - b. Install new levered latchset, Passage function.
 - c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).
8. Linen:
- a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - b. Install new levered latchset, Passage function.
 - c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - d. Prepare and paint walls, ceiling, trim, door, and shelves.
9. Dining Room:
- a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Install new **Energy Star- rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - c. Prepare and paint walls, ceiling, door, and trim (see Specifications).

10. Living Room:

- a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications)
- c. Contractor shall confirm that the Living Room has a high speed (broadband) Internet hook-up/connection port.
- d. Prepare and paint walls, ceiling, door, and trim (see Specifications).

11. Bathroom:

- a. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- b. Remove existing water closet, vanity sink and faucet, shower head, exhaust fan/light, wall-mounted light, bath tub/tub surround/bath fixtures, and bath accessories.
- c. Verify that existing Bathroom and door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- d. Install new levered latchset, Privacy function.
- e. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- f. **Replace water supply valves to all Bathroom fixtures.**
- g. Install new **30" wide x 20" deep Vanity Cabinet** with one piece synthetic marble top (see Specifications) and **WaterSense-labeled low flow faucet** (see Specifications). The Vanity cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal. Install **Water Sense-labeled low flow water closet** (see Specifications).
- h. **Install WaterSense-labeled low flow Shower Head** (see Specifications)
- i. **Install new 3-piece tub to include new surround on three sides and new bath fixture.** Installation will include new tub/shower control and diverter equipped with anti-scald capabilities.
- j. Install new **Energy Star-rated wall mounted LED light and Bath Exhaust Fan** (see Specifications).
- k. Install new Bathroom accessories to include toilet paper holder, towel bar, recessed mirrored medicine cabinet, and shower rod (see Specifications). Prepare and paint walls, ceiling, trim, and door (see Specifications).

12. Storage :

- a. Remove existing bifold door. Frame in for and install a prehung 3068 door assembly, patching adjacent wall surfaces as needed.
- b. Install new levered latchset, Passage function.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

13. Mechanical:

- a. Remove existing surface mounted ceiling light fixture and install new **LED Surface Mounted Ceiling Fixture** (see Specifications).
- b. Install new levered latchset, Keyed function.
- c. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- d. Remove existing HVAC air handler and hot water heater from Closet. Remove also exterior condensing unit located outside the apartment. Contractor shall donate equipment to local charity or non-profit agency.
- e. Install new **Energy Star rated 15.0 SEER Energy Star rated HVAC Heat Pump System** with adaptive recovery technology and programmable thermostat (see Specifications). Install air handling unit in room and condensing unit outside in location of original condensing unit, per manufacturer's recommendations and per International Mechanical Code. Connect new air handler into existing ductwork. Include drain pan and overflow switch. Note: Replace all existing ceiling and wall diffusers and return air diffuser.
 - 1) All refrigeration lines must be insulated.
- f. Install **40 Gallon Electric Water Heater 'Low Boy'** (see Specifications). Water heater must be an energy efficient model with an energy factor greater than 0.93. Installation shall include hook-ups to existing electrical circuit and water supply lines and a drain pan with drain piping routed to the outside. Pipe all Water Heater Temperature & Pressure (T&P) relief valve discharges to disposal point, per Code.
- g. Insulate all exposed water lines.
- h. Prepare and paint all existing wall, ceiling, door, and trim surfaces (see Specifications).

14. Bedroom 1 and Closet 1:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **Carpet** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing Bedroom 1 and Closet 1 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 1 door and Dummy function on the Closet 1 doors.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Remove existing smoke detector in Bedroom 1 and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Hall and Bedrooms 2 and 3 (see Specifications) tied together in same electrical circuit.
- f. Contractor shall confirm that the Bedroom 1 has a **high speed (broadband) Internet** hook-up/connection port.
- g. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom 1 and Closet 1.

15. Bedroom 2 and Closet 2:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **Carpet** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing Bedroom 2 and Closet 2 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 2 door and Dummy function on the Closet 2 doors.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Remove existing smoke detector in Bedroom 2 and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Hall and Bedrooms 1 and 3 (see Specifications) tied together in same electrical circuit.
- f. Contractor shall confirm that the Bedroom 2 has a **high speed (broadband) Internet** hook-up/connection port.
- g. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom 2 and Closet 2.

16. Bedroom 3 and Closet 3:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **Carpet** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing Bedroom 3 and Closet 3 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 3 door and Passage function on the Closet 3 door.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Remove existing smoke detector in Bedroom 3 and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Hall and Bedrooms 1 and 2 (see Specifications) tied together in same electrical circuit.
- f. Contractor shall confirm that the Bedroom 3 has a **high speed (broadband) Internet** hook-up/connection port.
- g. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom 3 and Closet 3.

D. Typical One Bedroom H/C Apartments:

The following description applies to (2) apartments (see Drawings; Site Plan and Floor Plans for location and layout):

1. Window Blinds:

- a. Remove all existing window blinds. Contractor shall donate blinds to local charity or non-profit agency. Install new window blinds.
- b. Tilt wands shall extend (minimum) to 48" AFF.

2. Electrical switches, receptacles, and controls:

- a. Contractor shall confirm that all receptacles are now lower than 15" AFF, switches and control (thermostats, etc.,) are no higher than 48" AFF.

3. Entry:
 - a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - c. Install new keyed levered latchset and lockset.
 - d. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - e. Prepare and paint walls, ceiling, door, and trim (see Specifications).

4. Coat Closet:
 - a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - b. Install new levered latchset, Passage function.
 - c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - d. Confirm that shelf and rod are no higher than 54" AFF,
 - e. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

5. Hall:
 - a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - c. Remove existing smoke detector in Hall and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Bedroom (see Specifications) tied together in same electrical circuit.
 - d. Prepare and paint walls, ceiling, door, and trim (see Specifications).

6. Living Room:

- a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- c. Install new thumb-latch lockset and levered latchset, keyed function.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Contractor shall confirm that the Living Room has a high speed (broadband) Internet hook-up/connection port.
- f. Prepare and paint walls, ceiling, door, and trim (see Specifications).

7. Dining Room:

- a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Replace existing ceiling light with a new **Energy Star rated LED Ceiling Light Fixture** (see Specifications).
- c. Prepare and paint walls, ceiling, door, and trim (see Specifications).

8. Kitchen/Dining:

- b. Remove existing refrigerator, range, range hood, sink and sink faucet, wall and base cabinets, countertops, and ceiling mounted light fixture. Contractor shall donate all of the above to local charity or non-profit agency.
- c. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- d. Replace (4) existing receptacles with new GFCI receptacles and new plates. Install one new GFCI receptacle to left of Range location.
- e. **Replace all water supply valves to the Kitchen fixtures within each apartment.**
- f. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.

- g. Install new base cabinets, wall cabinets, and counter (see Specifications) as delineated on Drawings. The Kitchen cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal. Base cabinets shall be set up for 34" high counters. All cabinets shall have 4" 'C' pull handles
 - 1. 48" sink area, open below.
 - 2. 18" drawer base.
 - 3. 30" work area, open below.
 - 4. 1026 wall cabinet
 - 5. 4016 wall cabinet
 - 6. 2610 wall cabinet
 - 7. 2630 wall cabinet
 - 8. 10'-0" of counter with integral backsplashes.
- h. Install new Kitchen Appliances (see Specifications):
 - 1. 30" electric range with front controls
 - 2. **Energy Star rated** Dishwasher
 - 3. **30" Energy Star rated Microwave/Range Hood combo** with recirculating fan. Provide remote switches for both the fan and the light. Install **Range Queen** extinguishing systems in each range hood unit.
 - 4. **Energy Star rated 18.0 cu. Ft. side-by-side refrigerator with ice maker.** Refrigerator controls must be within 4'-0" of the floor.
- i. Install new 6" deep **double bowl** stainless steel sink with levered faucet. Sink drains shall be rear mounted.
- j. Insulate all exposed drain pipes below the counter.
- k. Install new **Energy Star rated surface mounted fluorescent light fixture** in Kitchen.
- l. Provide and install a **5 lb. ABC rated dry chemical fire extinguisher** mounted within the Kitchen area readily accessible to the H/C tenant.
- m. Prepare and paint all existing wall, ceiling, and trim surfaces (see Specifications).

9. Mechanical:

- a. Remove existing surface mounted ceiling light fixture and install new **LED Surface Mounted Ceiling Fixture** (see Specifications).
- b. Verify that existing Mechanical door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- c. Install new levered latchset, Keyed function.
- d. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- e. Remove existing HVAC air handler and hot water heater from Closet. Remove also exterior condensing unit located outside the apartment. Contractor shall donate equipment to local charity or non-profit agency.
- f. Install new **Energy Star rated 15.0 SEER Energy Star rated HVAC Heat Pump System** with adaptive recovery technology and programmable thermostat (see Specifications). Install air handling unit in room and condensing unit outside in location of original condensing unit, per manufacturer's recommendations and per International Mechanical Code. Connect new air handler into existing ductwork. Include drain pan and overflow switch. Note: Replace all existing ceiling and wall diffusers and return air diffuser.
 - 2) All refrigeration lines must be insulated.
- g. Install **40 Gallon Electric Water Heater 'Low Boy'** (see Specifications). Water heater must be an energy efficient model with an energy factor greater than 0.93. Installation shall include hook-ups to existing electrical circuit and water supply lines and a drain pan with drain piping routed to the outside. Pipe all Water Heater Temperature & Pressure (T&P) relief valve discharges to disposal point, per Code.
- h. Insulate all exposed water lines.
- i. Prepare and paint all existing wall, ceiling, door, and trim surfaces (see Specifications).

10. Bedroom and Closet:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing Bedroom door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on Bedroom door and Passage function on Closet door.

- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications)
- e. Remove existing smoke detector in Bedroom and replace with a new **Smoke Detector**, hard wired with battery back-up, connected to the Hall detector (see Specifications) tied together in same electrical circuit.
- f. Lower shelf of existing shelf and rod to 54" AFF if it is not already at this height.
- g. Contractor shall confirm that the Bedroom has a high speed (broadband) Internet hook-up/connection port.
- h. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom and Closet.

11. Bathroom:

- a. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- b. Remove existing water closet, wall hung sink and faucet, tub/tub surround and bath fixtures, shower head, exhaust fan/light, wall mounted light, and bath accessories. Contractor shall donate all items to local charity or non-profit agency.
- c. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Verify that existing Bathroom door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- e. Install new levered latchset, privacy function on Bathroom door
- f. **Replace water supply valves to all Bathroom fixtures.**
- g. Install new **30" wide vanity top with side supports** (see Specifications) and **WaterSense labeled low flow faucet** (see Specifications). Install insulation on exposed drain pipe.
 - 1) Set counter height at 34" AFF,
- h. Install **WaterSense labeled low flow ADA water closet.**
- i. **Install WaterSense labeled low flow Shower Head.**
- j. Install new **Energy Star rated wall mounted LED light and Bath Exhaust Fan/LED Light.**
- k. Install new Bathroom accessories to include toilet paper holder, 24" grab bar to be used as a towel bar (located adjacent to the shower), 24" x 36" fixed mirror, recessed medicine cabinet, 36" rear grab bar, 42" side grab bar, and shower rod (see Specifications).

- l. **Install new 3' x 5' roll in shower, shower surround, and ADA-compliant bath fixtures.** Installation to include UFAS compliant grab bars. . Installation will include new ADA-compliant adjustable height detachable shower head/wand and tub/shower control and diverter equipped with anti-scald capabilities.
- m. Prepare and paint walls, ceiling, trim, and door (see Specifications).

12. Linen Closet:

- a. Verify that existing Linen Closet door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- b. Install new levered latchset, Passage function on door.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. At least half the shelves in the Linen Closet shall be at or below 54" AFF.
- e. Prepare and paint walls, ceiling, trim, and shelves (see Specifications).

E. Three Bedroom H/C Apartment:

The following description applies to (1) apartment (see Drawings; Site Plan and Floor Plans for location and layout):

1. Window Blinds:

- a. Remove all existing window blinds. Contractor shall donate blinds to local charity or non-profit agency. Install new window blinds (see Specifications).
- b. Tilt wands shall extend (minimum) to 48" AFF.

2. Electrical switches, receptacles, and controls:

- a. Contractor shall confirm that all receptacles are now lower than 15" AFF, switches and control (thermostats, etc..) are no higher than 48" AFF.

3. Entry:

- a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- c. Install new keyed levered latchset and lockset.
- d. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Prepare and paint walls, ceiling, door, and trim (see Specifications).

4. Coat Closet:
 - a. Verify that existing door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - b. Install new levered latchset, Passage function.
 - c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - d. Confirm that shelf and rod are no higher than 54" AFF,
 - e. Prepare and paint walls, ceiling, trim, door, and shelves (see Specifications).

5. Hall:
 - a. Remove existing flooring and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Remove existing ceiling fixture and install new **Energy Star-rated surface mounted LED Ceiling Light Fixture** (see Specifications).
 - c. Remove existing smoke detector in Hall and install new **Smoke Detector** hard wired, with battery back-up, to smoke detectors in Bedroom (see Specifications) tied together in same electrical circuit.
 - d. Prepare and paint walls, ceiling, door, and trim (see Specifications).

6. Living Room:
 - a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
 - b. Verify that existing entry door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - c. Install new thumb-latch lockset and levered latchset, keyed function.
 - d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications)
 - e. Contractor shall confirm that the Living Room has a high speed (broadband) Internet hook-up/connection port.
 - f. Prepare and paint walls, ceiling, door, and trim (see Specifications).

7. Dining Room:

- a. Remove existing carpet and dispose of material legally. Install new **LVT Flooring** (see Specifications) over this area per manufacturer's recommendations.
- b. Replace existing ceiling light with a new **Energy Star rated LED Ceiling Light Fixture** (see Specifications).
- c. Prepare and paint walls, ceiling, door, and trim (see Specifications).

8. Kitchen/Dining:

- a. Remove existing refrigerator, range, range hood, sink and sink faucet, wall and base cabinets, countertops, and ceiling mounted light fixture. Contractor shall donate all of the above to local charity or non-profit agency.
- b. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- c. Replace (4) existing receptacles with new GFCI receptacles and new plates. Install one new GFCI receptacle to left of Range location.
- d. **Replace all water supply valves to the Kitchen fixtures within each apartment.**
- e. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
- f. Install new base cabinets, wall cabinets, and counter (see Specifications) as delineated on Drawings. The Kitchen cabinets will meet ANSI/KCMA A161.1 performance and construction standards and will bear a KCMA Seal. Base cabinets shall be set up for 34" high counters. All cabinets shall have 4" 'C' pull handles
 2. 48" sink area, open below.
 3. 18" drawer base.
 4. 30" work area, open below.
 5. 1026 wall cabinet
 6. 4016 wall cabinet
 7. 2610 wall cabinet
 8. 2630 wall cabinet
 9. 10'-0" of counter with integral backsplashes.

- g. Install new Kitchen Appliances (see Specifications):
 - 1) 30" electric range with front controls
 - 2) **Energy Star** rated Dishwasher
 - 3) **30" Energy Star rated Microwave/Range Hood combo** with recirculating fan. Provide remote switches for both the fan and the light. Install **Range Queen** extinguishing systems in each range hood unit.
 - 4) **Energy Star** rated **18.0 cu. Ft. side-by-side refrigerator with ice maker**. Refrigerator controls must be within 4'-0" of the floor.
 - h. Install new 6" deep **double bowl** stainless steel sink with levered faucet. Sink drains shall be rear mounted.
 - i. Insulate all exposed drain pipes below the counter.
 - j. Install new **Energy Star** rated **surface mounted fluorescent light fixture** in Kitchen.
 - k. Provide and install a **5 lb. ABC** rated **dry chemical fire extinguisher** mounted within the Kitchen area readily accessible to the H/C tenant.
 - l. Prepare and paint all existing wall, ceiling, and trim surfaces (see Specifications).
9. Mechanical:
- a. Remove existing surface mounted ceiling light fixture and install new **LED Surface Mounted Ceiling Fixture** (see Specifications).
 - b. Verify that existing Mechanical door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
 - c. Install new levered latchset, Keyed function.
 - d. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over these areas per manufacturer's recommendations.
 - e. Remove existing HVAC air handler and hot water heater from Closet. Remove also exterior condensing unit located outside the apartment. Contractor shall donate equipment to local charity or non-profit agency.
 - f. Install new **Energy Star** rated **15.0 SEER Energy Star** rated **HVAC Heat Pump System** with adaptive recovery technology and programmable thermostat (see Specifications). Install air handling unit in room and condensing unit outside in location of original condensing unit, per manufacturer's recommendations and per International Mechanical Code. Connect new air handler into existing ductwork. Include drain pan and overflow switch. Note: Replace all existing ceiling and wall diffusers and return air diffuser.
 - 1) All refrigeration lines must be insulated.

- g. Install **40 Gallon Electric Water Heater 'Low Boy'** (see Specifications). Water heater must be an energy efficient model with an energy factor greater than 0.93. Installation shall include hook-ups to existing electrical circuit and water supply lines and a drain pan with drain piping routed to the outside. Pipe all Water Heater Temperature & Pressure (T&P) relief valve discharges to disposal point, per Code.
- h. Insulate all exposed water lines.
- i. Prepare and paint all existing wall, ceiling, door, and trim surfaces.

10. Bedroom 1 and Closet 1:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that the existing Bedroom 1 and Closet 1 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 1 door and Passage function on the Closet 1 door.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications)
- e. Remove the existing smoke detector in Bedroom 1 and replace it with a new **Smoke Detector**, hard wired with battery back-up, connected to the Hall and Bedrooms 2 and 3 detectors (see Specifications) tied together in same electrical circuit.
- f. Lower shelf of existing shelf and rod to 54" AFF if it is not already at this height.
- g. Contractor shall confirm that Bedroom 1 has a **high speed (broadband) Internet** hook-up/connection port.
- h. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom and Closet.

11. Bedroom 2 and Closet 2:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that the existing Bedroom 2 and Closet 2 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 2 door and Passage function on the Closet 2 door.

- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications)
- e. Remove the existing smoke detector in Bedroom 2 and replace it with a new **Smoke Detector**, hard wired with battery back-up, connected to the Hall and Bedrooms 1 and 3 detectors (see Specifications) tied together in same electrical circuit.
- f. Lower shelf of existing shelf and rod to 54" AFF if it is not already at this height.
- g. Contractor shall confirm that Bedroom 2 has a **high speed (broadband) Internet** hook-up/connection port.
- h. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom and Closet.

12. Bathroom:

- a. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- b. Remove existing water closet, wall hung sink and faucet, tub/tub surround and bath fixtures, shower head, exhaust fan/light, wall mounted light, and bath accessories. Contractor shall donate all items to local charity or non-profit agency.
- c. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. Verify that existing Bathroom door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- e. Install new levered latchset, privacy function on Bathroom door
- f. **Replace water supply valves to all Bathroom fixtures.**
- g. Install new **30" wide vanity top with side supports** (see Specifications) and **WaterSense labeled low flow faucet** (see Specifications). Install insulation on exposed drain pipe.
- 1) Set counter height at 34" AFF,
- h. Install **WaterSense labeled low flow ADA water closet.**
- i. **Install WaterSense labeled low flow Shower Head.**
- j. Install new **Energy Star rated wall mounted LED light and Bath Exhaust Fan/LED Light.**
- k. Install new Bathroom accessories to include toilet paper holder, 24" grab bar to be used as a towel bar (located adjacent to the shower), 24" x 36" fixed mirror, recessed medicine cabinet, 36" rear grab bar, 42" side grab bar, and shower rod (see Specifications).

- l. **Install new 3' x 5' roll in shower, shower surround, and ADA-compliant bath fixtures.** Installation to include UFAS compliant grab bars. . Installation will include new ADA-compliant adjustable height detachable shower head/wand and tub/shower control and diverter equipped with anti-scald capabilities.
- m. Prepare and paint walls, ceiling, trim, and door (see Specifications).

13. Bedroom 3 and Closet 3:

- a. Remove existing carpet and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT** (see Specifications) over this area per manufacturer's recommendations.
- b. Verify that the existing Bedroom 3 and Closet 3 doors function properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- c. Install new levered latchsets, Privacy function on the Bedroom 3 door and Passage function on the Closet 3 door.
- d. Install new switched **Energy Star rated surface mounted LED Ceiling Light Fixture** (see Specifications).
- e. Remove the existing smoke detector in Bedroom 3 and replace it with a new **Smoke Detector**, hard wired with battery back-up, connected to the Hall and Bedrooms 1 and 2 detectors (see Specifications) tied together in same electrical circuit.
- f. Lower shelf of existing shelf and rod to 54" AFF if it is not already at this height.
- g. Contractor shall confirm that Bedroom 3 has a **high speed (broadband) Internet** hook-up/connection port.
- h. Prepare and paint walls, ceiling, doors, and trim (see Specifications) of Bedroom and Closet.

14. Linen Closet:

- a. Verify that existing Linen Closet door functions properly. Repair or replace any hinges, door unit, door frame, or door trim as needed.
- b. Install new levered latchset, Passage function on door.
- c. Remove existing flooring and dispose of material legally. Remove all residual glue from existing subfloor. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- d. At least half the shelves in the Linen Closet shall be at or below 54" AFF.
- e. Prepare and paint walls, ceiling, trim, and shelves (see Specifications).

F. High Speed (Broadband) Internet:

1. Provide (1) **high speed broadband internet** hook-up in each apartment Living Room and one hook-up in each apartment Bedroom.

G. Existing Receptacle and Switch Plates:

1. Replace all existing receptacle and switch plates.

EXISTING OFFICE/LAUNDRY BUILDING:

Note: The existing Office/Laundry Building will be extensively reconfigured. The following room descriptions refer to existing and reconfigured areas within the existing Building. Refer to the Plans for clarification.

Window Blinds:

- a. Remove all existing window blinds. Contractor shall donate blinds to local charity or non-profit agency. Install new window blinds (see Specifications).

Office/Office Storage (converted from former Maintenance Room):

- a. Reconfigure area as directed by the Plans.
- b. Install new **Carpet** on existing concrete floor.
- c. Verify that existing Office door functions properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- d. Install new levered latchset, keyed function.
- e. Remove existing ceiling light fixtures and install a two new **Fluorescent Ceiling Light Fixtures** (see Specifications).
- f. Prepare and paint wall, ceiling, interior surface of entry door, and trim surfaces (see Specifications).

Maintenance Room (converted from former Office):

- a. Reconfigure area as directed by the Plans.
- b. Remove existing Carpet. Install **Sheet Vinyl** flooring.
- c. Verify that existing doors function properly. Repair or replace any hinges, door units, door frames, or door trim as needed.
- d. Install new levered latchset, keyed function.
- e. Remove existing ceiling light fixtures and install a two new **Fluorescent Ceiling Light Fixtures** (see Specifications).
- f. Prepare and paint wall, ceiling, interior surface of entry door, and trim surfaces (see Specifications).

Existing Laundry:

- a. **Replace all Washer water supply fixtures and valves in the Laundry Room.**
- b. Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
- c. Remove four existing surface mounted ceiling light fixtures and install new **Fluorescent Surface Mounted Ceiling Fixtures** (see Specifications).
- d. Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
- e. Prepare and paint all existing wall, ceiling, door, and trim surfaces (see Specifications).
- f. Owner shall provide at least one accessible front-loading Washer, one accessible front-loading Dryer, a Folding Bench, and adequate seating (minimum two chairs).

Community Room Addition:

Demolition:

- a. Remove section of roof/roofing as needed to join new roof of addition with existing roof.

New Construction:

- a. Construct new 30'-0" wide x 35'-0" long Community Room Addition adjacent to the side exterior wall of the Office/Laundry Building as delineated in Drawings.
- b. Footings, Concrete Slab:
 - 1) 2'-0" wide x 1'-0" deep x continuous reinforced concrete footing.
 - 2) 8" CMU foundation
 - 3) 4" reinforced concrete slab on 4" gravel and pvc vapor barrier
- c. Exterior walls:
 - 1) 2 x 4 wood studs at 16" oc
 - 2) 7/16" OSB sheathing
 - 3) R-3 rigid insulation
 - 4) Vinyl siding and trim
 - 5) ½" GWB, taped and spackled, painted
 - 6) R-13 fiberglass batts
 - 7) Windows: (5) pr 2650 double hung windows (see Specifications and Drawings).
 - 8) Doors: (2) 6068 patio door units with ADA compliant threshold and all hardware (see Specifications).
 - 9) Flooring: Install **LVT** flooring on concrete slab.

- d. Roof and ceiling:
- 1) Wood roof trusses at 2'-0" oc with 4:12 roof pitch
 - 2) 5/8" OSB roof sheathing
 - 3) 15# roofing felt
 - 4) Flashing at intersection with walls, ice dam fabric at lower 2'-0" of roof, and continuous aluminum drip edge.
 - 5) Continuous flashing/venting at top edge of roof
 - 6) R-38 blown-in cellulose attic insulation
 - 7) ½" GWB walls and ceiling; taped and spackled, painted
- e. Mechanical, Electrical, and Plumbing
- 1) Install new **Energy Star rated 15.0 SEER Energy Star rated HVAC Heat Pump System** with adaptive recovery technology and programmable thermostat (see Specifications). Install air handling unit in room and condensing unit outside in location of original condensing unit, per manufacturer's recommendations and per International Mechanical Code. Connect new air handler into existing ductwork. Include drain pan and overflow switch.
 - a) Installation shall include programmable thermostats designed for the system, located in the Community Room. Thermostats shall be mounted at 48" AFF.
 - b) New HVAC system shall use R-410A coolant.
 - 2) Electrical: Provide (10) new receptacles, (6) 2-tube **Energy Star rated** fluorescent ceiling lights on two switched circuits and electrical service as needed for Mechanical equipment.
 - a) Computer Station (located in new Community Room Addition):
 - (1) Provide high speed internet connections as needed for (2) computer stations and (1) TV connection. Provide electrical service for (2) computers and (1) printer.
 - (2) Owner to supply (2) computers, (1) printer and furniture for housing and use of equipment.
 - 3) Plumbing: Provide water supply as needed for Kitchenette and two (2) ADA Toilets to include drains and venting. Tie water supply to Building's system.
- f. Men's and Women's ADA Toilets:
- 1) Construct area as delineated on the drawings.
 - 2) Install new prehung 3068 doors with levered latchsets, Privacy function.
 - 3) Remove existing sheet vinyl flooring and dispose of material legally. Remove all residual glue from existing subfloor.
 - 4) Install new **LVT flooring** (see Specifications) over this area per manufacturer's recommendations.
 - 5) Remove existing water closet, wall hung sink and faucet exhaust fan/light, wall mounted light, and bath accessories. Contractor shall donate all items to local charity or non-profit agency.
 - 6) **Install new water supply, drain, and vent lines as needed to service the new water closets and lavatories.**
 - 7) Install new wall hung lavatories (see Specifications) and **WaterSense labeled low flow faucets** (see Specifications).

- 8) Install **WaterSense labeled low flow ADA water closets**.
 - 9) Provide electrical circuits as needed for new lights, GFCI receptacles, and Bath Exhaust Fans.
 - 10) Install new **Energy Star rated wall mounted LED light and Bath Exhaust Fan**.
 - 11) Install new toilet accessories in each toilet to include toilet paper holder, towel bar, 24" x 36" tilt mirror, 42" rear grab bar, 32" side grab bar, and 18" (vertical) grab bar.
- g. Kitchenette (in former Office area):
- 1) Install new **LVT flooring** this area.
 - 2) Install new base cabinets, wall cabinets, and counter (see Specifications) as delineated on Drawings. Base cabinets shall be set up for 34" high counters. All cabinets shall have 4" 'C' pull handles
 - a) 36" sink area, open below.
 - b) 18" drawer base.
 - c) 3616 wall cabinet
 - d) 1830 wall cabinet
 - e) 5'-0" of counter with integral backsplashes.
 - 3) Install new **Energy Star rated 18.0 cu. Ft. side-by-side refrigerator with ice maker**. Refrigerator controls must be within 4'-0" of the floor.
 - 4) Install new 6" deep **single bowl** stainless steel sink with levered faucet. Sink drains shall be rear mounted.
 - 5) Insulate all exposed drain pipes below the counter.
 - 6) Install new **Energy Star rated surface mounted fluorescent light fixture** in Kitchenette area.
 - 7) Prepare and paint new walls, ceiling, trim, and door (see Specifications).

This Work Write Up was prepared by,



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SECTION 00600 - - CONTRACT FORMS AND GENERAL CONDITIONS

PART 1 - GENERAL

1.01 SUMMARY

- A. The purpose of this section is to describe what forms are required. By their inclusion on the following list these documents become part of the Contract Documents.

1.02 CONTRACT FORMS

- A. Standard Form of Agreement Between Owner and Contractor: AIA Document A107-2007.
- B. Performance Bond and Payment Bond: AIA Document A312-2010.
- C. Application and Certificate for Payment: AIA Document G702-1992.
- E. Continuation Sheet: AIA Document G703-1992.
- F. Certificate of Substantial Completion: AIA Document G704-1992.
- G. Contractor's Affidavit of Payment of Debts and Claims: AIA Document G706-1994.
- H. Contractor's Affidavit of Release of Liens: AIA Document G706A.

1.03 CONDITIONS OF THE CONTRACT

- A. By this reference, General Conditions of the Contract for Construction is incorporated into the Construction Documents, AIA Document A201-2007.

PART 2 – PRODUCTS – Not Applicable to this Section.

PART 3 – EXECUTION – Not Applicable to this Section.

END OF SECTION

SECTION 01010 - - USDA-RD REGULATED DOCUMENTS

PART 1 - GENERAL

1.01 SUMMARY

- A. The purpose of this section is to list the USDA-RD Regulated Documents. By their inclusion on the following list and in this Section, these documents become part of the Contract Documents.

1.02 CONTRACT FORMS

- | | |
|--|-----------------------------------|
| A. Contract Concurrence | RD 1924-A, Guide 1 ATCH. 8 |
| B. Certificate of Owner's Attorney | RD 1924-A, Guide 1 ATCH. 7 |
| C. Compliance Statement (Form 400-6) | RD 400-6 |
| D. <u>Standard Form of Agreement between Owner and Contractor</u>
(AIA A101-2007) with Supplement to Agreement | RD 1924-A, Guide 1 ATCH.6 |
| E. Notice to Proceed | RD 1924-A, Guide 1 ATCH. 9 |
| F. <u>General Conditions of the Contract for Construction</u>
(AIA A201-2007) with Supplementary General Conditions | RD 1924-A, Guide 1 ATCH.10 |
| G. Identity of Interest Disclosure/Qualification Certificate | RD 3560-31 |
| H. Contract Change Order | RD 1924-7 (Rev. 2-97) |
| I. AIA G702-1992: Application and Certificate for Payment | |
| J. AIA G703-1992: Continuation Sheet | |
| K. Partial Payment Estimate | RD 1924-18 (Rev. 6-97) |
| L. Equal Opportunity Agreement | RD 400-1 |
| M. Certification for Contracts, Grants, and Loans | FMHA 1940-Exhibit A-1 |
| N. Certification Regarding Debarment with Instructions | AD 1048 |
| O. Disclosure of Lobbying Activities with Instructions | |
| P. Notice to Prospective Subcontractors of Requirements for Certification of Non-Segregated Facilities | |
| Q. Release of Claimants | RD 1924-10 |
| R. Builder's Warranty | RD 1924-19 |

PART 2 – PRODUCTS – Not Applicable to this Section.

PART 3 – EXECUTION – Not Applicable to this Section.

END OF SECTION

SECTION 012900 - PROJECT PROCEDURES

PART 1 - GENERAL

1.01 SUMMARY

- A. Contractor shall provide coordination of work with:
1. Supervisory personnel.
 2. Preconstruction conference.
 3. One Progress Meeting per month.
 4. Other meetings as needed.
 5. Collection of and recycling of construction material and debris from work crew to include but not be limited to:
 - a. Beverage containers from work crew.
 - b. Cardboard from new fixtures and appliances.
 - c. Metal (scrap/surplus/removed copper, piping, electrical wiring, or sheet metal)
 - d. Wood (to be ground into mulch onsite and used in planting beds).
 - e. Carpet (Carpet installers to recycle old and surplus carpet).
 6. Collection of and donating of material, appliances, and fixtures to include but not be limited to:
 - a. Kitchen and Bath cabinetry
 - b. Kitchen appliances
 - c. Plumbing fixtures, water heaters
- B. Prior to beginning construction, Contractor shall:
1. Submit progress schedule to Owner. Update schedule monthly.
 - a. Post schedule at site.
 2. Prepare and submit submittal schedule to Architect. Coordinate submittal schedule with progress schedule.
 3. Submit schedule of values to Architect.
 4. Submit schedule of required tests including payment and responsibility.
- C. Contractor shall submit and post a list of emergency telephone numbers and address for individuals to be contacted in case of emergency.
- D. Contractor shall submit monthly payment requests, based on AIA Document No's. G702 and G703, to the Architect, along with Partial Payment Estimate.
- E. Contractor shall maintain record drawings and specifications. Contractor shall maintain and annotate these documents as work progresses.
- F. Contractor shall perform quality control during installation.

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Summerville, SC

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G. Clean and protect the work.

PART 2 - PRODUCTS - Not Applicable To This Section

PART 3 - EXECUTION - Not Applicable To This Section

END OF SECTION

SECTION 013100 – COORDINATION AND MEETINGS

PART 1 - GENERAL

1.01 SUMMARY

- A. Contractor shall provide the following:
 - 1. Coordination.
- B. Owner will schedule the following
 - 1. Pre-construction meeting.
 - 2. Progress meetings, one per month until project's completion.

1.02 COORDINATION

- A. Coordination scheduling, submittals and work of the various sections of specifications to assure efficient and orderly sequence of installation of interdependent construction elements.
- B. Verify that utility requirement characteristics of operating equipment are compatible with building utilities. Coordinate work of various sections having interdependent responsibilities for installing, connecting to and placing in service such equipment.
- C. Coordinate completion and clean-up of work of separate sections in preparation for Substantial Completions.

1.03 PRE-CONSTRUCTION MEETING

- A. Owner will schedule pre-construction meetings before the Notice to Proceed has been issued, prior to the start of construction.
- B. Attendance Required: Owner or Owner's representative, Contractor and Architect.
- C. Agenda:
 - 1. Construction Schedules.
 - 2. Critical work sequencing.
 - 3. Major material deliveries.
 - 4. Designation of personnel representing the parties in Contract.
 - 5. Procedures and processing of field decisions.
 - 6. Use of premises by Owner and Contractor.
 - 7. Staging areas.
 - 8. Security.
- D. A written record shall be made of the proceedings by the Owner and shall become part of the job record.

1.04 PROGRESS MEETINGS

- A. The Owner will schedule and administer meetings throughout progress of the work once a month.
 - 1. End of the month Pay Request and Progress meeting.

PART 2 - PRODUCTS - Not Applicable To This Section

PART 3 - EXECUTION - Not Applicable To This Section

END OF SECTION

SECTION 013300 - SUBMITTALS

PART 1 - GENERAL

1.01 SUMMARY

- A. Comply with project format for submittals.
- B. Provide types of submittals listed in individual sections and number of copies required.
 - 1. Shop drawings, reviewed and annotated by the Contractor three (3) copies.
 - 2. Product data – three (3) copies.
 - 3. Samples – two (2) plus extra samples as required to indicate range of color, finish, and texture to be expected.
 - 4. Mock-ups - as required in the individual sections.
 - 5. Inspection and test reports – three (3) copies.
 - 6. Warranties - 3 copies.
 - 7. Survey data - 3 copies.
 - 8. Closeout submittals - 3 copies.
- C. Send submittal to Donald C. Harwood, Architect, PLLC, 13 Kenwood Lane, Greenville, SC 29609. Attention: Donald C. Harwood, ph. 864-915-2126. dharwood08@gmail.com
- D. Action on submittals:
 - 1. Architect's Action:
 - a. Review each submittal.
 - b. Stamp each submittal with review stamp, appropriate action marked.
 - c. Return each submittal within two weeks of submittal.
 - 2. Contractor's Action:
 - a. Prepare submittals on a timely manner.
 - b. Take appropriate action as indicated on returned submittal.
 - c. Conform to procedures of this Section.
- E. Comply with progress schedule for submittals related to work progress. Coordinate submittal of related items.
- F. After Architect review of submittal revise and resubmit as required, identifying changes made since previous submittal.
- G. Distribute copies of reviewed submittals to appropriate individuals/entities. Instruct recipients to promptly report any inability to comply with provisions.
- H. Samples and shop drawings shall be prepared specifically for this project. Shop drawings shall include dimensions and details, including adjacent construction and related work. Note special coordination required. Note any deviations from requirements of the Contract Documents.

- I. Provide warranties as specified; warranties shall not limit length of time for remedy of damages Owner may have by legal statute. Warranties shall be signed by contractor, supplier or installer responsible for performance of warranty.

PART 2 - PRODUCTS - Not Applicable To This Section

PART 3 - EXECUTION - Not Applicable To This Section

END OF SECTION

SECTION 015000 - TEMPORARY FACILITIES

PART 1 - GENERAL

1.01 SUMMARY

A. Property owner will provide temporary services and utilities, including utility costs:

1. Water (potable and non-potable).
2. Lighting and power.

B. Contractor will provide:

1. Storage area/facility for materials and equipment.
2. Construction equipment.
3. Toilet facilities.
4. Building and site security of exposed areas.
5. Fire extinguishers.
6. Environmental protection.
7. Snow and ice removal if applicable.
8. Project identification sign.
9. Cleaning and trash removal.

PART 2 - PRODUCTS - Not Applicable To This Section

PART 3 - EXECUTION - Not Applicable To This Section

END OF SECTION

SECTION 016000 - PRODUCTS AND SUBSTITUTIONS

PART 1 - GENERAL

1.01 SUMMARY

- A. Provide products from one manufacturer for each type or kind as applicable. Provide secondary materials as recommended by manufacturers of primary materials.
- B. Provide products selected or approved equal. Products submitted for substitution shall be submitted with acceptable documentation, and include costs of substitution including related work.
- C. Substitutions shall be submitted prior to award of contract, unless otherwise acceptable. Approval of shop drawings, product data, or samples is not a substitution approval unless clearly presented as a substitution at the time of submittal.
- D. Conditions for substitution include:
 - 1. An 'or equal' phrase in the specifications.
 - 2. Specified material cannot be coordinated with other work.
 - 3. Specified material is not acceptable to authorities having jurisdiction.
 - 4. Substantial advantage offered Owner in terms of cost, time, or other consideration.

PART 2 - PRODUCTS - Not Applicable To This Section

PART 3 - EXECUTION - Not Applicable To This Section

END OF SECTION

SECTION 017700 - CONTRACT CLOSEOUT

PART 1 - GENERAL

1.01 SUMMARY

- A. The following are prerequisites to substantial completion. Provide the following:
1. Punch list.
 2. Supporting documentation.
 - a. Certificate of Occupancy
 - b. Termite Letter/Contract
 - 1) Include Slab Treatment for New Construction
 - c. Carpet, LVT, and Vinyl Flooring Letters from vendors stating that materials meet or exceed the requirements of (HUD/FHA, UM-44e)
 - d. Insulation Certificates for R-values in ceiling/attics and walls.
 - e. Serial Numbers for Refrigerator, Range, Water Heater, HVAC Air Handler and Condenser
 - f. Cabinet Certification
 - g. Window and Door labels and supporting data indicating that the products meet Energy Star requirements.
 - h. Manual J Form from HVAC subcontractor.
 - i. Product literature and data indicating that plumbing fixtures are labeled 'WaterSense' products.
 3. Warranties, where applicable.
 4. Certifications, where applicable.
 5. Change over of locks, where applicable.
- B. Provide the following prerequisites to final acceptance:
1. Final payment request with supporting affidavits.
 2. Completed punch list.
- C. Provide a marked-up set of drawings (record documents) including changes which occurred during construction.
- D. Provide the following closeout procedures:
1. Submission of record documents.
 2. Submission of maintenance manuals, where applicable.
 3. Final cleaning and touch-up.
 4. Removal of temporary facilities or barriers.

PART 2 - PRODUCTS - Not Applicable To This Section

PART 3 - EXECUTION - Not Applicable To This Section

END OF SECTION

Section #033000 CAST-IN-PLACE CONCRETE

- A. Formwork: APA rated B-B Plyform forms sufficient for structural and visual requirements or approved equal.
- B. Reinforcement:
 - 1. Bars: Deformed steel, ASTM A 615, Grade 60.
 - 2. Mesh: Welded steel wire fabric, ASTM A 185.
- C. Concrete materials:
 - 1. Cement: Portland cement, ASTM C 150, Type 1.
 - 2. Aggregate: Normal weight aggregates, ASTM C 33.
- D. Admixtures, all with less than 1% chloride ions:
 - 1. Water-reducing type and super plasticizer as required for workability; Euclid, Sika, L&M or approved equal.
 - 2. Air-entraining type for use in exterior concrete and foundations exposed to freeze-thaw; Euclid, Sika, L&M or approved equal.
- E. Miscellaneous Materials:
 - 1. Grout: Non-metallic, non-shrink type.
- F. Concrete Mixes:
 - 1. 3000 psi for footings.
 - 2. Concrete to be 3500psi. air entrained, for sidewalks.
- G. Concrete Walks
 - 1. Concrete walks to be 4" thick.
 - 2. Control joints for concrete walks shall be $\frac{3}{4}$ " deep and $\frac{1}{4}$ " wide, spread 5' 0" O.C.
- H. Comply with ACI 301, 304, 305, 306, 311, 318, 347, CRSI "Manual of Standard Practice", and ASTM C94. Do not change mix design without approval. Calcium chloride admixtures are not permitted.
- I. Cure and protect work. Report defective work in writing.
- J. Submit 28 day test results to Owner.

Section #042113 BRICK MASONRY

- A. Brick: Standard modular, 2-1/4" by 3-3/4" by 7-5/8". ASTM C 216, Severe weathering grade, Type FBS. Special shapes as required by building configuration.
- B. Mortar: ASTM C 270, portland cement-lime mortar, Type N above grade; Type M below grade; other types as required by application. Inorganic oxide mortar pigments, color as selected; Davis, Solomon Grind-Chem or approved equal. Match color of existing mortar when performing masonry infill and construction of Courtyard piers of Building No. 1.
- C. Reinforcing:
 - 1. Ties and reinforcing: Hot-dipped galvanized, ASTM A 153.
 - 2. Horizontal reinforcing: Welded truss type, 9 gage wire with deformed side rods.
 - 3. Reinforcing bars: Deformed bars, ASTM A 615, Grade 60.
- D. Comply with PCA "Recommended Practices for Laying Concrete Block" and BIA Tech Notes 11, 11A, 11B, 11C, 11D, and 11E, and NCMA TEK Bulletins.
- E. Weather Protection: Cold weather; heat mortar water and sand, enclose walls and provide temporary heat as recommended by BIA Tech Notes 1, 1A, 1B, and 1C. Hot weather; use mortar within 1-1/2" hours after mixing for ambient 80 degrees F or above.
- F. Tolerances: From dimensions and locations in Work Write-Up and Drawings for plumb, level and alignment, plus or minus 1/8 in 20'.
- G. Bond: Lay exposed face brick in running bond except at areas of special coursing, patterns and bonding.
- H. Joints: Maintain uniform 3/8" width; tool concave. Provide full bed, head and collar joints.
- I. All grading and new mulch shall allow weep holes in brick veneer to remain exposed.

Section #061000 ROUGH CARPENTRY

- A. Provide rough carpentry work:
 - 1. Wood framing.
 - 2. Sheathing.
 - 3. Underlayment (Luan where needed for LVT installations).
 - 5. Nailers, blocking, furring, and sleepers.
- B. Lumber, finished 4 sides, 19% maximum moisture content:
 - 1. Light framing: Construction grade Douglas Fir or Southern Pine, appearance grade where exposed.
 - 2. Structural framing and timbers: No. 1 grade Douglas fir or southern pine, appearance grade where exposed.
 - 3. Boards: Construction grade.
- C. Wood for nailers, blocking, furring and sleepers: Construction grade, finished 4 sides, 19% maximum moisture content. Pressure preservative treat items in contact with roofing, flashing, waterproofing, masonry, concrete or the ground. Provide blocking for all mounted items, including:
 - 1. Grab Bars as required to meet UD and 504 requirements.
 - 2. Toilet accessories.
 - 3. Window treatment.
- D. Plywood, and Oriented Strand Board (OSB) for use and exposure:
 - 1. Wall sheathing: 7/16" OSB sheathing.
 - 2. Roof sheathing: 5/8" OSB sheathing.
 - 3. Sheet Vinyl Underlayment: 1/4" luan plywood to be installed below all VCT installations.
- E. Wood framing: Comply with recommendations of NFPA Manual for House Framing, NFPA Recommended Nailing Schedule, and NFPA National Design Specifications for Wood Construction.
 - 1. Wall studs at all new wall construction shall be spaced at 16" oc.

Section #062023 INTERIOR FINISH CARPENTRY

- A. Replace any damaged or missing interior trim to include a door casing, base trim, and shoe molding. Prepare new trim for painting.
- B. Remove all rubber and vinyl base and dispose of legally. Install new 6" wood base, prepare and paint.
- C. Caulk trim around windows and doors to assure proper seal.
- D. After removing existing carpet and sheet vinyl, caulk along joint between base trim and subfloor to assure proper seal.

Section #072100 THERMAL INSULATION

- A. Add additional blown-in cellulose insulation in the attic sufficient to achieve R-38 insulation value.
- B. Before installing additional insulation in the attic:
 - 1. Install baffles to the underside of the roof sheathing between the roof truss top chords, at the eave area, extending a minimum two feet up toward the ridge.
 - 2. Install insulation dams at the outer edge of the exterior wall above the top plate to prevent added insulation from spreading into the eave area.
 - 3. If possible, use a combination baffle/dam component for this installation.
 - 4. Make sure that no insulation has spread into the eave area along the building's entire perimeter where eaves occur.
- C. At attic access doors, construction a 12" – 14" high insulation baffle constructed of plywood, around the opening of the attic access opening to prevent insulation from dropping into the attic access hatch opening and to allow the full (new) depth of attic insulation to be installed. Where there is no attic access stair, attach an R-38 fiberglass batt to the top of the attic access hatch. Where there is an attic access stair, provide an R-38 fiberglass batt, cut to the size of the attic access opening, to lie on top of the stair assembly.
- D. Verify that the exterior walls contain insulation. If no insulation is found install blown-in cellulose insulation into existing wall cavities to fill cavity from bottom plate to top plate of exterior walls.
- E. In new construction install Owens-Corning kraft-back fiberglass batt wall insulation, or approved equal, in exterior walls, R-13.

Section #073110 VINYL SIDING AND TRIM

- A. Siding, trim, and soffit installations, where scheduled, shall be **0.44" Solid Vinyl Siding and Trim and Vented Ceiling/Soffit Material** by CertainTeed or approved equal, meeting the American Society for Testing Materials. (ASTM) D3697.81a Polyvinyl Chloride (P.V.C.).
- B. Siding to be .044 inches and 10" wide double 5 Lap Design, or as approved by Architect.
- C. Soffit material shall be vented.
- D. Provide vinyl wrap over wood fascia boards.

Section #073113 ARCHITECTURAL ROOF SHINGLES

- A. Remove existing asphalt shingles from the building and dispose.
- B. Repair or replace all damaged sheathing, rafters, or trusses. Replace any 3/8" sheathing with a minimum 7/16" OSB sheathing.
- C. Architectural roof shingles shall be as manufactured by Owens-Corning, or approved equal. Shingles shall be a minimum 30 year, anti-fungal product. Shingles are to be nailed (not stapled) per manufacturer's instructions.
- D. Installation shall include ridge vents on all roofs with Owens-Corning "Vent Sure" shingle-over type, or approved equal. Install roof shingles over ridge to match roof shingles.
- D. Provide 15 pound roofing felt on roof sheathing prior to shingle installation.
- E. Install prefinished aluminum continuous drip edge along all edges of the roof.
- F. Install Ice Dam Membrane extending from roof's eave edge to a point 24 inches inside the exterior wall of building, and along all roof valleys extending 24" up each side of valley.

Section #076200 FLASHING

- A. Flash all openings in roof such as plumbing vents, and exhaust ducts with pre-molded aluminum or vinyl securely tightened around pipe.
- B. Flashing for roof shingles adjacent to any wall shall be stepped and be of .019" thick aluminum.
- C. Contractor shall confirm that metal flashing or 20 mil polyethylene flashing with self-adhering polyethylene laminate flashing has been installed above all existing exterior walls and new window replacements.

Section #077123 MANUFACTURED GUTTERS AND DOWNSPOUTS

- A. Remove existing gutters and downspouts and dispose.
- B. Install standard 5" extruded seamless prefinished aluminum gutters .032" thick, color shall be as selected by Architect.
 - 1. Stamped downspout cut-outs in new gutters shall match the size of the new downspouts.
An alternate is to install properly sized boots in the gutters to receive the downspouts.
- C. Downspouts to be standard prefinished 3" x 4" aluminum connected to underground leaders, discharging water a minimum 10' from building foundation. Color shall be as selected by Architect.
- D. Connect downspouts to underground rainwater conductor system if it exists, or provide splashblocks at each downspout.

Section #079200 LOW VOC JOINT SEALANTS

- A. All penetrations in brick and siding shall be sealed with **Low VOC acrylic caulk**, color to match mortar color (brick) or siding (painted siding color).
- B. Caulk all joints where new brick veneer abuts trim components.
- C. Caulk all gaps between window or door casing and adjacent brick veneer.
- D. Caulk all gaps between brick lintel above windows and doors and the adjacent brick veneer and between the brick lintel and the window or door.
- E. Seal around all plumbing, electrical and HVAC penetrations at walls, ceiling, and floor in preparation for EarthCraft final 'blow door' testing.
- F. Caulk trim around windows and doors to assure proper seal.
- G. After removing existing carpet and sheet vinyl, caulk along joint between base trim and subfloor to assure proper seal.

Section #081416 HOLLOW CORE INTERIOR DOORS

- A. Replace any damaged interior hollow core doors identified during construction or in the Work Write-Up. Installation shall include removal and disposal of the damaged unit, leaving the existing frame and trim in place and reuse of the existing hinges and door hardware. New door shall come predrilled for latchset.
 - 1. Replacement doors shall be 1 3/8" hollow core units to match configuration and facing of existing doors.

- B. Install new prehung interior hollow core doors where identified on the Drawings. Sizes shall be as directed by the Drawings. Installation shall include selective demolition (where located in an existing wall) and rough framing for rough opening in preparation for installation of new prehung door unit. New door unit shall come predrilled for latchset. Provide new latchset for installation. Latchsets shall be as manufactured by Schlage Lock Company or approved equal. Latchset configuration and finish shall match that of existing door hardware.
 - 1. New interior doors shall be 1 3/8" hollow core units to match configuration and facing of existing doors.

- C. All new and existing interior doors shall close properly without binding on the door jambs, strike plates, or carpet.
 - 1. Replace all latchsets and locksets on all existing and new interior doors. Latchsets shall be levered latchsets. Latchset functions shall match that of the former latchsets.

- D. Cut Bedroom and Bathroom doors as needed to provide a minimum 3/4" gap at the bottom. If this cut cuts beyond the door's bottom blocking, install new blocking and seal

Section #081420 APARTMENT ENTRY

- A. Replace any damaged interior apartment entry doors, identified during construction or in the Work Write-Up, with prehung units matching the original entry door unit, predrilled to receive locksets and latchsets. Remove existing doors and frames from the rough openings. Dispose of door/frame material legally.

- B. Prepare the rough openings as needed for the installation of the new doors and frames.

- C. Install new prehung door units in prepared rough openings per the door/frame manufacturer's recommendations.

- D. Install new locksets and levered latchsets on all existing and new doors. Latchset functions shall be that of the former latchset.

- E. Prepare and paint new and existing frames and doors.

Section #092200 GYPSUM WALLBOARD SYSTEMS

- A. Interior non-rated use: ASTM C 36, 1/2" thick regular GWB as scheduled in the Work Write-Up; U. S. Gypsum, Gold Bond Div. National Gypsum, Domtar Gypsum or approved equal.
- B. Fasteners: ASTM C 514 and ASTM C 646. Provide Type S bugle head screws at interior, cadmium plated at humid and exterior areas. Provide additional anchors and fasteners as required.
- C. Joint reinforcement: ASTM C 587 paper or fiberglass tape and ready-mixed vinyl compound.
- D. Accessories: Galvanized steel corner beads, casing beads, control joints; U. S. Gypsum 800 series as applicable.
- E. Check the condition of all drywall and repair or refinish to include the following:
 - 1. Repair of damaged or deteriorated GWB surfaces (including previous repairs) are to be flat and smooth.
 - 2. Type and thickness of drywall shall match existing.
 - 3. Patch holes, repair damages, and refinish uneven, cracked, and peeling taped joints.
 - 4. Repair popped or damaged corner beading.
 - 5. Re-screw drywall that has nail pops or settlement.
 - 6. Replace all drywall that has mold, mildew, or signs of moisture.
 - 7. Paint and retexture drywall to match existing finish.
 - 8. Repair damaged or compromised draft stopping and/or fire stopping.

Section #096800 CARPETING

- A. Remove existing carpeting and padding from all Apartments and the Public areas. Contractor shall make an effort to recycle the removed carpet material.
- B. Install new carpet and pad as scheduled in the Work Write-up.
- C. Carpet and pad shall meet or exceed minimum FHA standards and HUD specifications for moderate traffic, UM-44d, style SP110 as manufactured by Mohawk or approved equal.
 - 1. New carpet shall contain 50% recycled carpet by total weight. Provide documentation of recycled material as required for EarthCraft certification.
 - 2. New carpet shall be low VOC as certified in the Carpet and Rug Institute's Green Label Plus Program.
 - 3. New padding shall contain 50% recycled padding.
 - 4. Padding shall be 3/8" rebonded polyurethane consisting of all new flexible polyurethane foam with 100% urethane solids binder and have parallel surfaces with all edges sharp and straight.
- D. Carpet installation shall have a minimum number of seams. No seams shall be located in traffic areas. T-seams, except in closets, will not be acceptable.
- E. Carpet installed in **H/C Apartments** shall meet FHA and HUD specifications UM.44d Type II Class I with texture E. 24 oz per sq. yd. minimum weight.
 - 1. Install with no separate pad under the carpet.

Section #096519 RESILIENT FLOORING

- A. Remove existing sheet vinyl flooring from all areas of the apartments and VCT from the Public areas and dispose.
- B. Install new Luxury Vinyl Tile (LVT) flooring as scheduled in the Work Write-up. LVT must meet minimum FHA standards.
- C. Materials:
 - 1. 12" x 12" x 1/8" LVT tiles, incorporating a minimum 50% recycled material as manufactured by Earth Werks, P.O. Box 9095, Corpus Christi, Texas 78469. 800/275.7943
 - a. LVT tiles shall meet FHA minimum standards.
 - 2. Edging: Rubber molding with concealed fastenings.
 - 3. Adhesive: Waterproof as recommended by manufacturer.
- D. Preparation:
 - 1. Examine surfaces to received materials before work is started. Remove dirt, grease, and foreign matter from receiving surfaces. Existing flooring must be removed per manufacturer's instructions.
 - 2. Replace all damaged sheathing and floor joists in kitchen and bathroom floors. Install new VCT over 1/4" luan plywood or flooring manufacturer's suggested subfloor in order to maintain flooring warranty.
 - 3. Store resilient materials in original packages, at a temperature of not less than 70 F. for at least 24 hours prior to laying.
- F. Adhesives:
 - 1. Mix and apply adhesives according to manufacturer's instructions and recommendations.
 - 2. Apply adhesive at a rate to permit installation of flooring within working time of adhesive.
- G. Installation:
 - 1. Install according to manufacturer's instructions and recommendations.
 - 2. Install edging strip where edge would be exposed.
 - 3. Maintain temperature of not less than 70 F. while laying flooring.

Section #099113 EXTERIOR PAINTING

- A. All exterior surfaces of existing & new exterior doors are to be painted.
- B. All exterior metal surfaces shall be factory or field painted.
- C. Paint all new steel brick angles above windows and exterior doors at brick veneer.
- D. Clean each surface of dirt or any attached material including excess paint in order to provide a smooth, clean surface for new paint.
- E. Remove existing exterior door latchsets and locksets. Mask door hinges and adjacent surfaces.
- F. Prime all exposed exterior metal surfaces with one coat latex based primer.
- G. Apply two top coats with latex acrylic; semi-gloss finish.
- H. Use **low VOC paint (150g/L or less) products** as manufactured by Sherwin Williams Co., Glidden, Devoe, or approved equal.
- I. Paint Finish Schedule:
The following products are based on Sherwin Williams Co. products.
 - 1. Exterior siding/trim, exterior doors – 2 topcoats A 100 Satin Latex House and Trim Paint.
 - 2. Metal railing – 2-step epoxy coating.

Section #099123 INTERIOR PAINTING

- A. Use **low VOC paint (150g/L or less) products** as manufactured by Sherwin Williams Co., Glidden, Devoe, or approved equal.
- B. Paint Finish Schedule:
The following products are based on Sherwin Williams Co. products.
 - 1. New Gypsum wallboard:
 - 1 coat latex wallboard primer.
 - 2. New and existing gypsum wallboard:
 - 2 topcoats ProMar 200 Latex Wall Paint, eggshell finish.
 - 3. Wood trim and painted doors:
 - 2 topcoats ProMar 200 Alkyd, semi-gloss enamel
 - One coat of paint will be acceptable if good coverage is received.

Section #101400 SIGNAGE

- A. Install a new permanent 4' x 6' Site Sign to show name of complex, Equal Housing Opportunity, and Handicapped logos. Sign shall be constructed of cedar with sand blasted background creating raised letters. Sign shall be painted as directed by the Architect. Equal Housing Opportunity logo and H/C logo size being 3% minimum of the total sign area.
 - 1. Sign shall be anchored to 16" x 16" x 6'-0" high brick piers at each end, supported by 32" x 32" x 12' Thick concrete footings.
- B. Install new permanent signs at office and all public access area and rooms..
- C. Install a 2" x 6" permanent sign at each apartment entry door displaying the apartment number. Sign lettering shall be vinyl letters on prefinished 1/4" MDO board mounted to entry doors.
- E. A temporary Construction Sign shall be located at the entrance to the site.
- F. Provide signage at all ADA parking areas. Signs shall meet ANSI A117.3 regulations, shall be painted metal signs, mounted to 4 x 4 treated wood posts.

Section #102816 RESIDENTIAL BATH ACCESSORIES

- 1. Toilet paper holder, one per apartment bathroom, and one per Public H/C Toilet, by Franklin Brass or approved equal.
- 2. Install new 24" long towel bars with 3/4" polished stainless steel, one per apartment, by Franklin Brass or approved equal.
- 4. Towel Bars at H/C Bathrooms shall be 24" x 1-1/2" diameter grab bars.
- 5. 24" x 36" metal framed tilt mirror, one per Handicapped (H/C) Bathroom and one per H/C Public Toilet.
- 6. Install new tub curtain rods, one per apartment Bathroom, replacing the existing rods and brackets with well secured brackets to support new rod. Patch wall where existing hangers leave marks.
- 7. Grab-bars installed in H/C apartment Bathrooms and in Public H/C Toilets shall be stainless steel 1-1/2" diameter, as manufactured by Bobrick Co. or approved equal. Lengths and locations shall be as required by code and as indicated in Drawings.
 - a. Provide blocking in walls for proper anchorage of grab bars to meet Universal Design and Section 504 requirements.
- 8. Install 14" x 18" surface mounted plastic resin body medicine cabinets as manufactured by Jenson Manufacturing, or approved equal, with adjustable shelves and mirror in all apartment bathrooms.

Section #112600 KITCHEN AND VANITY CABINETS

- A. Contractor shall donate removed kitchen cabinets to local non-profit agencies, retaining a receipt for donations for their records.
- B. Provide new Kitchen and Bath Cabinetry that meet ANSI/KCMA A161.1 performance and construction standards and shall bear a KCMA Seal.
 - 1. FACE FRAMES: solid wood, minimum dimensions 3/4th inch by 1½ inch.
 - 2. END PANELS, TOPS, and BOTTOMS: plywood, particleboard or medium-density fiberboard, minimum thickness 1/2 inch. Exception: All kitchen sink base bottoms and bathroom vanity sink bottoms to be plywood. Plywood to be dadoed into sides and face frames.
 - 3. BACKS: plywood or hardboard, minimum thickness 1/8th inch. Particleboard, or medium-density fiberboard, minimum thickness 3/8th inch. Backs to be dadoed or rabbeted into end panels. Seal gap between water supply and drainpipes and the walls they penetrate before the installation of the cabinets. Holes cut in cabinet backs for plumbing and electrical are to be sealed (caulked) and the holes covered with escutcheon plates. Escutcheon plates shall fully cover holes. Where cut-out opening is larger than the escutcheon plate, install ¼” plywood cover to reduce that opening size and then install the escutcheon plate
 - 4. SHELVES: solid wood, plywood, particleboard, or medium-density fiberboard. Adjustable shelves, minimum thickness 5/8th inch. Fixed shelves, minimum thickness 1/2 inch. Edge banding required except on solid wood.
 - 5. DOORS and DRAWER FRONTS: solid wood, plywood, or composite materials with laminate finishes on all sides. Minimum thickness 5/8th inch. Plywood panels in “frame and panel” doors, minimum thickness 1/8 inch..
 - 6. DRAWER BOXES: solid wood or plywood. Minimum thickness 1/2 inch. Sides to be dadoed, rabbeted, or dovetailed to receive the front and back members of the drawer box. No butt joints will be accepted.
 - 7. DRAWER BOTTOMS: plywood, minimum thickness 1/4th inch. Bottoms dadoed and glued into drawer box.
 - 8. DRAWER GUIDES: side mounted steel rails.
- C. Kitchen Countertops to be post-formed plastic laminate with ¾” particle board formed with seamless turned down front edge and cove at the 4” high back splash.
- D. Backsplashes and sidesplashes at range locations shall be ceramic tile.
- E. Vanity tops to be cultured marble with molded sink. Provide Ceramic Tile sidesplash at walls.
- F. Kitchen wall cabinets shall be anchored (screwed) to studs or blocking with a minimum (4) screws per cabinet; (2) each in upper and lower cabinet nailing strips within the cabinet boxes. Do not locate lower cabinet screws in wall cabinets below the bottom of the cabinet where screws will be visible.
- G. Provide base cabinets with removable fronts and bases in First Floor and ADA apartments where designated on the Drawings.
- H. Kitchen cabinets **in the H/C Apartments** shall be provided with 34” high counter heights.
- I. Doors and drawers on all apartment Kitchen cabinets shall have 4”gripable handles.

Section #113113 KITCHEN APPLIANCES

- A. Contractor shall donate removed kitchen appliances to local non-profit agencies, retaining a receipt for donations for their records.
- B. Refrigerators shall be **EPA's Energy Star rated** white 18.0 Cu. Ft. frost free Refrigerators **with ice makers** and separate doors for freezer and refrigerator compartments, based on Frigidaire Models.
- C. Dishwashers shall be 24" under-counter **Energy Star rated** units.
- D. Refrigerators in H/C apartment kitchens be **Energy Star rated** white 18.0 Cu. Ft. frost free side-by-side refrigerators **with ice makers**. Refrigerator controls shall be located no higher than 48" above the floor.
- E. Ranges in all non-H/C apartment Kitchens shall be 30" wide white four-burner electric ranges with oven.
 - a. Installation shall include 'no tip' brackets.
 - b. Installation shall include installation of two **Range Queen** fire suppression canisters per the manufacturer's recommendations.
- F. Ranges in the **H/C Apartment** kitchens shall be 30" wide white four-burner electric ranges with oven, and front controls based on Frigidaire Model No. FFHT15131, or approved equal. Include 'no tip' brackets.
 - 1. Installation shall include the installation of 'no tip' brackets and **Range Queen Fire Suppression canisters** per the manufacturer's recommendations.
- G. In all apartments provide **EPA's Energy Star rated 30" wide Microwave/Rangehood Combo** recirculating units with two-speed fan, integral light, and filter.
 - 1. Installation in the **H/C Apartments** shall also include a remote electric switch for the light and the fan located in a reachable location as directed by the Architect.

Section #122100 WINDOW BLINDS

- A. All windows shall receive new venetian blinds with 1" wide vinyl slats, as manufactured by Levelor, or approved equal.
- B. Head bar of blind shall be metal channel and have center support when over 28" wide.
- C. Length of blind to extend from head of window to ½ inch above window stool. Longer blinds will not be allowed.
 - 1. In H/C apartments and all public areas, tilt wands shall extend to a minimum 4'-0" AFF.

Section #129343.04 DUMPSTER SCREEN

- A. Remove existing wood dumpster screens as described in the Work Write-up and as indicated on the Drawings and install new 6' high solid vinyl fencing screens on three sides of the dumpster area in the original configuration of the former screening per fence manufacturer's recommendations.
- B. Make a provision for ADA accessibility to dumpster. Accessibility includes accessible route to the dumpster, slope of no more than 1:20 on walk leading up to the dumpster and a minimum 5' x 5' level area directly in front of the dumpster. Provide an accessible parking space adjacent to the dumpster.
- C. Add two concrete filled 4" diameter steel tube bollards at the back of the Dumpster pad. Set the bollards a minimum 24" below grade encased in 16" diameter concrete footing. Bollards shall extend a minimum 30" above grade. Paint steel tubes after installation is complete.

Section #224000 WATER SUPPLY, DRAIN, AND VENT SYSTEMS

- A. **Replace all water supply valves to Bathroom and Kitchen fixtures within each apartment.**
- B. **Replace all Washer water supply fixtures and valves in the Laundry Rooms within each apartment.**
- C. Identify any existing 'Quest' water supply line systems. If found, replace with PVC or copper lines.
- D. Identify any existing galvanized water supply line systems. These systems are to be replaced with CPVC, copper, plastic, or other approved systems.
- E. Replace any existing galvanized waste lines or traps with PVC lines.

Section #224100 PLUMBING FIXTURES

A. FAUCETS:

- 1. All existing kitchen sink and bathroom faucets are to be removed and disposed.
- 2. Install new **Energy Star rated, WaterSense labeled**, low flow (less than 2.0 gpm) Kitchen Faucets, Moen Model No. 7454, or approved equal in all apartments. All faucets shall have a lifetime warranty.
- 3. Install new **Energy Star rated, WaterSense labeled**, low flow (less than 2.0 gpm) Bath Sink Faucets, Moen Model No. L64621, or approved equal in all apartments. All faucets shall have a lifetime warranty.
- 4. Install new **Energy Star rated, WaterSense labeled**, low flow (less than 2.0 gpm) Bath Shower Heads, Moen Model No. 116711, or approved equal in all apartments. All faucets shall have a lifetime warranty.
- 5. Install new tub and shower control and diverter with anti-scald capabilities at all tub/shower locations.
- 6. Install new shower control and diverter with anti-scald capabilities at new roll-in showers in the Handicap Apartments. Installation shall include UFAS-compliant adjustable height/detachable shower head/wand.

B. WATER CLOSETS

- 1. Remove all existing water closets in apartment Bathrooms and H/C Public Toilets in the Community Building and dispose.
- 2. Install new **Energy Star rated, WaterSense labeled**, (max. 1.3 gpf) water closets in all non-H/C apartment bathrooms.
- 3. Install new **Energy Star rated, WaterSense labeled** (max. 1.3 gpf) **UFAS/ADA-compliant** (17" seat height) water closets in all H/C apartment bathrooms and the H/C Public Toilets Model No. PF9303WH as manufactured by ProFlo, or approved equal, complying with ANSI A117.1-2003 standards.
- 3. Installation shall include new wax seals.
- 4. Water closets shall be installed level and shall be securely anchored to the floor. Where necessary, shim toilet to make it level and to assure secure anchorage. Caulk gap between toilet base and floor along front and sides of toilet base. Installation shall include bolt caps attached to bolts.
- 5. Where water supply line penetrates wall, caulk gap and provide escutcheon plate.

C. LAVATORY

1. Remove existing lavatories from all apartment Bathrooms and the H/C Public Toilets.
2. Install new molded composition marble top lavatory to be installed on Bathroom vanities. Vanity cabinets shall have removable fronts and bases in all First Floor apartments.
3. Install new vanity tops with cabinet side supports in the **H/C** apartment bathrooms and the H/C Public Toilets.
 - a. H/C Vanity Tops shall be mounted at 34" from floor to the top leading rim of the sink.
 - b. Exposed drain lines below lavatories shall be insulated.

D. KITCHEN SINK

1. Remove existing kitchen sinks from all apartment kitchens to include sink, faucet, and fittings, and dispose.
2. Install new **double bowl** sinks in all non-H/C apartments.
3. Install **double-bowl**, stainless steel, 33" x 22" x 6" deep sink, Model No. PD5604BX as manufactured by FRANKE in the **H/C Apartment** Kitchens. Both bowls of sink shall have drains in rear of bowl.
 1. Exposed drain lines below kitchen sinks shall be insulated.
 2. Locate drain lines as close to rear wall as possible.

E. WATER HEATER

1. Remove existing hot water heaters in all apartments.
2. Install **40 Gallon Energy Star-rated Electric Water Heater 'Low Boy'** with an Energy Factor (EF) greater than 0.93 as indicated on the Drawings and the Work Write Ups. Installation shall include hook-ups to existing electrical circuit and water supply lines.
 - a. Install pipe insulation on the first two feet of water piping extending from the water heater.
 - b. Each new water heater installation shall include plastic pan 2" deep with drain piping extending and draining to the outside.
 - c. Water heater installation shall comply with the latest edition of the International Plumbing Code for New Construction.

F. BATH TUBS

1. **Replace existing tubs in all apartments with new three piece tub assemblies to include tub and tub surround.**
2. Caulk along top and side edges of tub surround and adjacent wall after installation.

G. ROLL- IN SHOWERS

1. In **H/C apartments** remove existing tub, surrounds, and faucets and dispose of materials legally.
2. Prepare floor and (3) walls (surrounds) for shower/shower surround installation as recommended by the shower unit manufacturer.
3. Install new **3' x 5' roll in shower** system to include shower pan, wall surround components with UFAS-compliant grab bars.
 - 1) Includes **Energy Star-rated WaterSense low flow shower diverter control, adjustable height hand held Energy Star-rated WaterSense low flow shower head, and shower drain, roll-over shower dam, and remotely-located floor drain.**
4. Rough in for new shower controls to include shower control/diverter unit and shower head. Shower control/diverter shall be located off center in compliance with ANSI A117.1 standards.

H. LAUNDRY ROOM

1. Laundry Room shall provide hot and cold water supply with water shut off valves operated by a moisture sensor on the floor for each unit, or have a pans for each unit connected to the building exterior per applicable plumbing code.
2. Dryers shall have electrical supply for each machine and dryer venting for each unit extending to the exterior with vent caps.

Section #238219 FAN COIL SYSTEMS

- A. HVAC System to be split system heat pump.
 - 1. Condensing unit shall be model no. RPQL-JAZ, 15.0 SEER/9.5 HSPF as manufactured by Rheem, or approved equal.
 - 2. Air handling unit shall be a series RHKL 15 SEER unit with variable speed fan, as manufactured by Rheem, or approved equal.
 - 3. Existing duct system will be removed, including bulkhead enclosures. Materials will be disposed of legally. A new duct system will be installed providing conditioned air to the Living Room/Dining Room, Kitchen, Bathroom, and Bedroom(s).
 - 4. Installation to include replacement of thermostats. Thermostats in the H/C apartments shall be mounted 48" AFF.
 - 1. Condensate drains shall discharge to exterior at ground level through piping located within the walls.
 - 2. Fire-caulk all penetrations in fire rated wall or floor / ceiling assemblies.
 - 3. Replace any condenser pads that are damaged with concrete or solid vinyl pads.
 - 4. All installations shall comply with the latest edition of the International Mechanical Code.
 - 5. Where possible, seal existing and new rigid ductwork with mastic paint. Seal flex-duct connections to rigid duct and to diffuser boots by similar method.
 - 6. R-410A coolant is required in all new HVAC systems.
 - 7. Verify that existing coolant lines are appropriately sized and are serviceable for new HVAC system.
- B. Before hooking new air handler to the existing ductwork Contractor shall clean the ductwork by vacuuming the ductwork to the extent possible.
- C. Before installing new air handler in the Mechanical Closet seal all miscellaneous penetrations of piping and conduit where they penetrate the walls and ceiling of the Mechanical Room. Seal any existing holes in the walls and ceiling, including gaps between trim, electrical junction boxes, or equipment (behind surface mounted light fixtures included) and the wall or ceiling. Where sealing these gaps or holes in the ceiling use fire caulking. Where sealing these gaps and holes in the walls use caulking or expandable foam. Install cover plates on all junction boxes and receptacles.
- C. New exterior condensing units shall be installed a minimum 6" from the wall. The units shall be installed with a minimum 24" clearance in front of the service panel.
- D. Electrical wiring for the condensing units shall be grommeted where they pass through the unit's enclosure.
- E. Electrical disconnects for the exterior condensing units shall be within 24" of the unit's service panel. New or existing surface mounted conduit shall be anchored within 6" of the junction box.

Section #238220 DIFFUSERS AND REGISTERS

- A. Installation will include new factory painted metal diffusers and return grilles.
- B. Prior to installation of new diffusers, caulk joints between diffuser boot and adjacent wall.
- C.

Section #238221 BATH EXHAUSTS

- A. Bathroom Exhaust Fans/Light Combo units installed in all Apartment Bathrooms and the Public Toilet shall be Broan Model No. QTRE110FLT, or approved equal providing 110CFM, with fluorescent light and a 1.3 Sone rating.
- B. Connect new units to the existing electrical circuit and exhaust duct system.
 - 1. Clean the existing exhaust duct system before completing installation.
- C. Installation shall include the installation of a new exterior exhaust vent wall cap.
- D. Provide Heat Lamps in all apartment Bathrooms

Section #265100 INTERIOR LIGHTING

- A. Replace the existing Kitchen ceiling light with an **Energy Star rated 4' x 10" two tube Fluorescent Ceiling Fixture**, Maintenance Warehouse Model No. 3324940, or approved equal. Prior to installation of new light fixture, caulk gap between fixture rough-in box and adjacent ceiling surface,
- B. Replace all other existing ceiling fixtures in apartments with **Energy Star rated LED Ceiling Light Fixture**, Access Lighting Model No. 28503, approved equal. Prior to installation of new light fixture, caulk gap between fixture rough-in box and adjacent ceiling surface.

Section #265600 EXTERIOR LIGHTING

- A. All exterior light fixtures located in public areas to light areas around buildings (exterior entries, exterior entry stairs, breezeways ceilings, Office Building entry) shall be **Energy Star rated LED Fixtures**, Cordelia Lighting Model No. ES21035, or approved equal.

Section #265610 CAMERA VIDEO SECURITY SYSTEM:

- A. Provide a minimum (8) Camera Video Security System with (6) cameras monitoring the roadways, parking areas, and all building entrances and (2) cameras monitoring the Office and Community Building.

Section #262726 WIRING DEVICES

- A. Remove paint from existing receptacles, switches. Replace malfunctioning switches and receptacles and damaged or missing plates. Installation at all locations shall include cover plate gaskets.
- B. Location/height of all new switches, receptacles and controls in all public areas shall comply with ANSI A117.1-2003.
- C. Provide blocking in exterior walls for installation of all exterior receptacles and for mounting equipment on exterior walls.
- D. All receptacles and switches in all apartments shall meet Code requirements for new construction in regard to their spacing (no more than 6' from a wall opening and no more than 12' apart from there on out) and height above the floor.
- E. In the **H/C Apartments** all switches and controls shall be located no higher than 48" AFF and all receptacles shall be mounted no lower than 15" AFF.
- F. Add GFCI receptacles where needed. Criteria for placement/addition of receptacles in Kitchen:
 - 1. A receptacle shall be installed at each wall counter space 12" or wider.
 - 2. Receptacles shall be placed so that no point along the wall behind that counter section is more than 24". No receptacle is required behind a range or a sink.
 - 3. There must be a receptacle located within 24" of the edge of the sink, but no closer than 12" from that sink's edge.
 - 4. Countertop sections separated by range tops, refrigerators, or sinks shall be considered separate countertop sections.

- G. Provide hard-wired smoke detectors with battery back-up where required in the Bedroom connected to a hard-wired smoke detector with strobe light in the Hall of all apartments.
- H. Existing emergency call systems shall be tested and repaired as needed.
- I. Replace existing call bell and light with new emergency call bell and flashing light, mounted on wall outside front entrance of apartments. Mount units 80" to 96" (maximum) above finish floor. Sound level shall not exceed 120 DBA.

Section #271000 DSL/HIGH SPEED CABLE

1. Provide rough in connections for **DSL/High Speed Cable** in all Apartment Living Rooms and Bedrooms, and at the Computer Center located in the new Community Room Addition.
2. Installation shall include all hard wiring concealed in the walls to rough in boxes with blank plates.
3. Wiring shall extend to either a central terminal or to individual external locations to serve each Apartment and the Computer Center.

Section #312200 GRADING

- A. Regrade around perimeter of existing building as needed to provide a minimum 6 inches between bottom of siding and finish grade or mulch and as needed to provide a minimum 5% slope away from foundation walls. Slope shall continue for a minimum of 10 feet from building.
- B. All regrading shall include removal of grass and plant material, and preparation for and seeding of regraded area.

Section #321216 ASPHALT PAVING

- A. Over existing asphalt paving, apply 1-1/2" asphalt topcoat.
 - 1. Repair all potholes before applying the topcoat.
- B. Stripe all parking space lines with State Highway approved paint for striping asphalt streets.
 - 1. Parking stripes shall be 4" wide and white in color.
- C. Mark all H/C parking areas as indicated on the Drawings, Sheet S1.1 Site Plan.
 - 1. At least one H/C parking space shall be van-accessible.
 - 2. Parking stripes shall be 4" wide and white in color.

Section #329219 SEEDING

- A. Seed all regraded and disturbed areas with Fescue Grass Seed (51X) using five pounds of seed evenly spread over every one thousand square feet. Fertilizer to be raked into soil before seeding, applied at a rate of three pounds per one thousand sq. ft.
- B. Water seeded areas until a grass seed has germinated, through a first mowing at 3" high growth

Section #329300 LANDSCAPING

- A. Prune and trim all existing plant material as need. This work will include removal of all dead plant material.
- B. Work shall include removal of all dead plant material, preparation for, supply, and installation of new replacement plant material where needed, instructions to the Owner on plant maintenance, and a one year plant warranty.
- C. Apply 4" mulch to all existing planting beds and around existing trees.

SUMMERVILLE VILLAS

350 LUDEN DRIVE, SUMMERVILLE, SC

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SUMMERVILLE VILLAS
 350 LUDEN DRIVE, SUMMERVILLE, SC

TOTAL NUMBER OF BUILDINGS IN THE PROJECT: 10 BUILDINGS

UNIT TYPES/BUILDING SQUARE FOOTAGE TABULATIONS

8 - ONE BEDROOM APARTMENTS, AVERAGE SQUARE FOOTAGE: 621.83SF = 4,974.64 SF
 24 - TWO BEDROOM APARTMENTS, AVERAGE SQUARE FOOTAGE: 814.58SF = 19,549.92 SF
 10 - THREE BEDROOM APARTMENTS, AVERAGE SQUARE FOOTAGE: 995.04SF = 9,950.40 SF
TOTAL RESIDENTIAL SF 34,474.96 SF

COMMUNITY BUILDING	TOTAL PROJECT SF	1,746.64 SF 36,221.6 SF
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**RESIDENTIAL BUILDINGS
 CODE SUMMARY:**

GENERAL DESCRIPTION:
 The Residential Buildings are one and two story wood frame structures on a concrete slab-on-grade.

APPLICABLE CODES:
 International Building Code (IBC), 2012 edition.
 Uniform Federal Accessibility Standards (UFAS); (Apartments)
 ANSI A117.1 - 2009; (Public access areas)

USE GROUP CLASSIFICATION:
 Assembly Group R-2, Apartments (Section 310.4).

CONSTRUCTION TYPE:
 Type VB; Any material permitted by Code, unprotected (Section 602.5).

ALLOWABLE HEIGHT AND AREA (Table 503):
 Height: 40 feet/Two stories. Buildings comply.
 Area: 7,000 sf. Buildings comply.

FIRE RESISTANCE RATING:
 For Type VB Construction, no Fire Resistance Rating Required (Table 601).
 Fire Resistance Rating for Exterior Walls with Fire Separation Distance
 Greater Than 30': 0 hours (Table 602)
 Maximum Area of Wall Openings Based on Fire Separation Distance Greater
 than 30': Not Required (Table 705.8).
 Fire Walls: Not required.
 Fire Partitions/(Dwelling Unit)Separation Walls (Sections 420.2 and 708.3): Fire resistance rating of 1 hour.
 Building comply.
 Horizontal Separation (Sections 420.3 and 711.3): Fire resistance rating of 1 hour. Buildings comply.
 Smoke Barriers and Smoke Partitions: Not required.

FIRE PROTECTION SYSTEMS:
 Automatic Sprinkler Systems: Sprinkler system required in new construction.(Section 903.2.8). Existing
 facility with no structural changes. Not required
 Portable Fire Extinguisher: Required (Section 906.1.1). Portable fire extinguishers provided in Kitchens.
 Fire Alarm and Detection System: Required (Section 907.2.9). Smoke detectors provided in all unit
 Bedrooms and in Hall outside Bedrooms. Detectors are linked together

MEANS OF EGRESS:
 Occupancy Load (Table 1004.1.2):
 One Bedroom Units: 621.83/200 sf (Occupant Factor; Residential) = 3.11, say 4.
 Two Bedroom Units: 814.58/200 sf (Occupant Factor; Residential) = 4.07, say 5.
 Two Bedroom Units: 995.04/200 sf (Occupant Factor; Residential) = 4.97, say 5.
 Number of Exits Required; 1 (Section 1015.1.1 and Table 1015.1). Each apartment unit complies.
 Exit Access Travel Distance: 200 feet (Table 1016.2). Each apartment complies.
 Panic Hardware (Section 1008.1.10): Required on all exits. Not required.
 Exit signs (Section 1011.1): Not required.

ACCESSIBILITY:
 Access to all apartments, including the three designated HC units as well as all site amenities
 is along an accessible pathway leading from H/C parking and from Apartments, Laundry, Community
 Building, Postal Boxes, Play Area, and Dumpster.

**OFFICE, LAUNDRY, COMMUNITY BUILDING
 CODE SUMMARY:**

GENERAL DESCRIPTION:
 The Community Building, with its addition, is a 1,746.64 sf one story wood frame structure on a
 concrete slab-on-grade housing an Office, Maintenance Room, 1,285 SF Community Room with a
 Kitchenette, two Public (Accessible) Toilets, and a Laundry.

APPLICABLE CODES:
 Virginia Construction Code (VCC).
 International Building Code (IBC), 2012 edition.
 ANSI A117.1 - 2009

USE GROUP CLASSIFICATION:
 Assembly Group A-3, Community Hall (Section 303.4).

CONSTRUCTION TYPE:
 Type VB; Any material permitted by Code, unprotected (Section 602.5).

ALLOWABLE HEIGHT AND AREA (Table 503):
 Height: 40 feet/one story. Facility complies.
 Area: 6,000 sf. Facility complies.

FIRE RESISTANCE RATING:
 For Type VB Construction, no Fire Resistance Rating Required (Table 601).
 Fire Resistance Rating for Exterior Walls with Fire Separation Distance
 Greater Than 30': 0 hours (Table 602)
 Maximum Area of Wall Openings Based on Fire Separation Distance Greater
 than 30': Not Required (Table 705.8).
 Fire Walls: Not required.
 Fire Partitions: Not required.
 Smoke Barriers and Smoke Partitions: Not required.

FIRE PROTECTION SYSTEMS:
 Automatic Sprinkler Systems: Not Required (Section 903.2.1.3).
 Portable Fire Extinguisher: Required (Section 906.1.1).
 Fire Alarm and Detection System: Not Required (Section 907.2.1).

MEANS OF EGRESS:
 Occupancy Load:
 Community Room: 1,285sf /15 sf (Occupant Factor - Unconcentrated; tables and chairs) = 86.
 Number of Exits Required; 2 (Section 1015.1.1 and Table 1015.1). Facility complies.
 Exit Access Travel Distance: 200 feet (Table 1016.2). Facility complies.
 Panic Hardware (Section 1008.1.10): Required on all exits. Provided on two exit doors.
 Exit signs (Section 1011.1): Required at all exits. Provided on two exits.

ACCESSIBILITY:
 All exits and components of the facility are accessible.
 Access to the facility is along an accessible pathway leading from H/C parking and from
 H/C Apartments.

PLUMBING:
 Accessible EWC required. EWC will be provided.
 Service sink required. Service sink will be provided.

Optional Development Design Criteria:

- 1. Roof shingles must be architectural style anti-fungal and warranted for a minimum of thirty (30) years.
- 2. Attic insulation rated at R-38 or higher.
- 3. Energy Star rated HVAC systems (15 SEER or greater) in all units.
- 4. All units must have a balcony, sunroom, or patio. A sunroom must contain a minimum of three (3) window panels and have distinct architectural separation from the living room. Patios must be at least 64 sq. ft. Front porches are not considered patios.
- 5. Curbing for paved areas throughout the development site including the parking areas.
- 6. Gazebo (Must be covered and have bench seating; must be permanently affixed and constructed in place; be ADA compliant, accessible and contain a minimum of 100 square feet) or covered picnic shelter (must have a table and bench seating and must be ADA compliant and accessible) in an appropriate location.
- 7. Irrigation/sprinkler system serving all landscaped areas.
- 8. Underground utilities (gas/electric, cable and phone) throughout the development site.
- 9. Provide in the community room a minimum of two (2) current updated computer systems, manufactured within the last 12 months, to include new computers, new printers, and a new scanner. The computers must be equipped with high speed Internet service (e.g. broadband or cable).
- 10. Each unit must have an Energy Star ceiling fan with light fixture in the living room and all bedrooms. All ceiling fans and overhead lights must connect to wall switches.
- 11. Full size Energy Star refrigerator, with ice maker, having a minimum size of eighteen (18) cubic feet.
- 12. All units must be pre-wired for high speed (broadband) Internet hook-up with at least one (1) centrally located connection port and connection ports in all bedrooms or wireless computer network.
- 13. Over the range mounted microwave oven, with re-circulating fan, in all units.
- 14. All units must have a Range Queen, Fire Stop, Auto Stop or comparable extinguishing system over the stove.

Bedrooms per unit	Minimum Sq. Ft. per Unit
One	750
Two	950
Three	1100
Four	1250

- 15. A minimum square footage per unit based on the number of bedrooms per unit specified as follows. To qualify, all of the units must meet the minimum square footage per unit. The Authority considers the square footage of an individual unit to be the usable living space measured from the interior wall to interior wall.

Bedrooms per unit	Bathrooms per unit
One	One Full
Two	One Full and One 1/2 bath
Three	Two Full
Four	Two Full and One-Half

- 16. Providing bathrooms per unit based on the number of bedrooms according to the following. To qualify, all the units must provide the minimum number of bathrooms as specified.
- 17. A minimum eight (8) camera video security system with at least one (1) camera monitoring all of the following areas: front of buildings, back of buildings, all levels of breezeways, community room, computer room, rental office, all site entrances/exits, roadways, and parking areas).
- 18. One (1) rental unit reserved for a security officer, on-site manager or maintenance person.
- 19. Walking trails, minimum 4 feet wide, paved and continuous. Trail should be a minimum 1250 linear feet. At a minimum one (1) permanently anchored weather resistant bench with back at the mid-point of the trail.
- 20. Perimeter fencing extending around all sides of the development site, except the development entrance(s). Chain link fencing not allowed.
- 21. Development to be built to meet, at a minimum, the Version 3.0 Energy Star Certification.
- 22. Provide an easily-accessible area that serves the entire development and is dedicated to the collection and storage of non-hazardous material for recycling, to include paper, corrugated cardboard, glass, plastics, and metals.

The following Optional Development Design Criteria are for rehabilitation developments only:

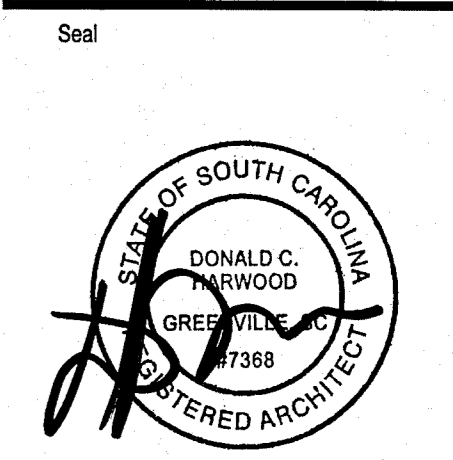
- 23. Install Energy Star rated dishwashers in all units.
- 24. Install overhead light fixture connected to a wall switch in the living room and all bedrooms. All light fixtures to be fitted with Energy Star light bulbs.
- 25. Provide one and one-half (1.5) bathrooms in all units with two (2) or more bedrooms.
- 26. Minimum bedroom size for all bedrooms in each unit is 120 square feet. The minimum bedroom square footage excludes the closet space.
- 27. Provide a minimum 1200 square foot community building excluding laundry and storage/maintenance areas.
- 28. Provide hookups for standard size washers/dryers in all units.
- 29. Energy Star rated windows in all units.
- 30. In all units, existing appliances replaced with full size Energy Star refrigerator, with ice maker, having a minimum size of eighteen (18) cubic feet; and an Energy Star rated dishwasher, and an Energy Star rated hot water heater with an energy factor greater than 0.61/gas or 0.53/electric.

Development Criteria:

- Development size- New Construction (threshold):
 Development has at least 32 total units but has no more than 72 total units.
- Development size- Rehabilitation (choose only one):
 Development has at least 24 total units and is at or below 88 total units.
 Development has 89 to 104 total units.
- Durable construction, with respect to each building, one of the following applies (choose only one):
 Brick/stone veneer or stucco minimum 60% and remaining exterior fiber cement and/or hardiplank.
 Brick/stone veneer or stucco minimum 50% and remaining exterior fiber cement and/or hardiplank.
 Brick/stone veneer or stucco minimum 30% and remaining exterior fiber cement and/or hardiplank.
 Brick/stone veneer or stucco minimum 50% and remaining exterior siding to be vinyl siding with a thickness of at least .044 mils; or full fiber cement.

SHEET INDEX

CVR - Cover Sheet
 S1.1 - Site Plan
 A1.1 - Building Type B: Plans and Bldg Elevations
 A1.2 - Building Type A: Plans and Bldg Elevations
 A1.3 - Building Type C: Plans and Bldg Elevations
 A3.1 - Office, Laundry, Community Building
 A4.1 - Typical Wall Sections

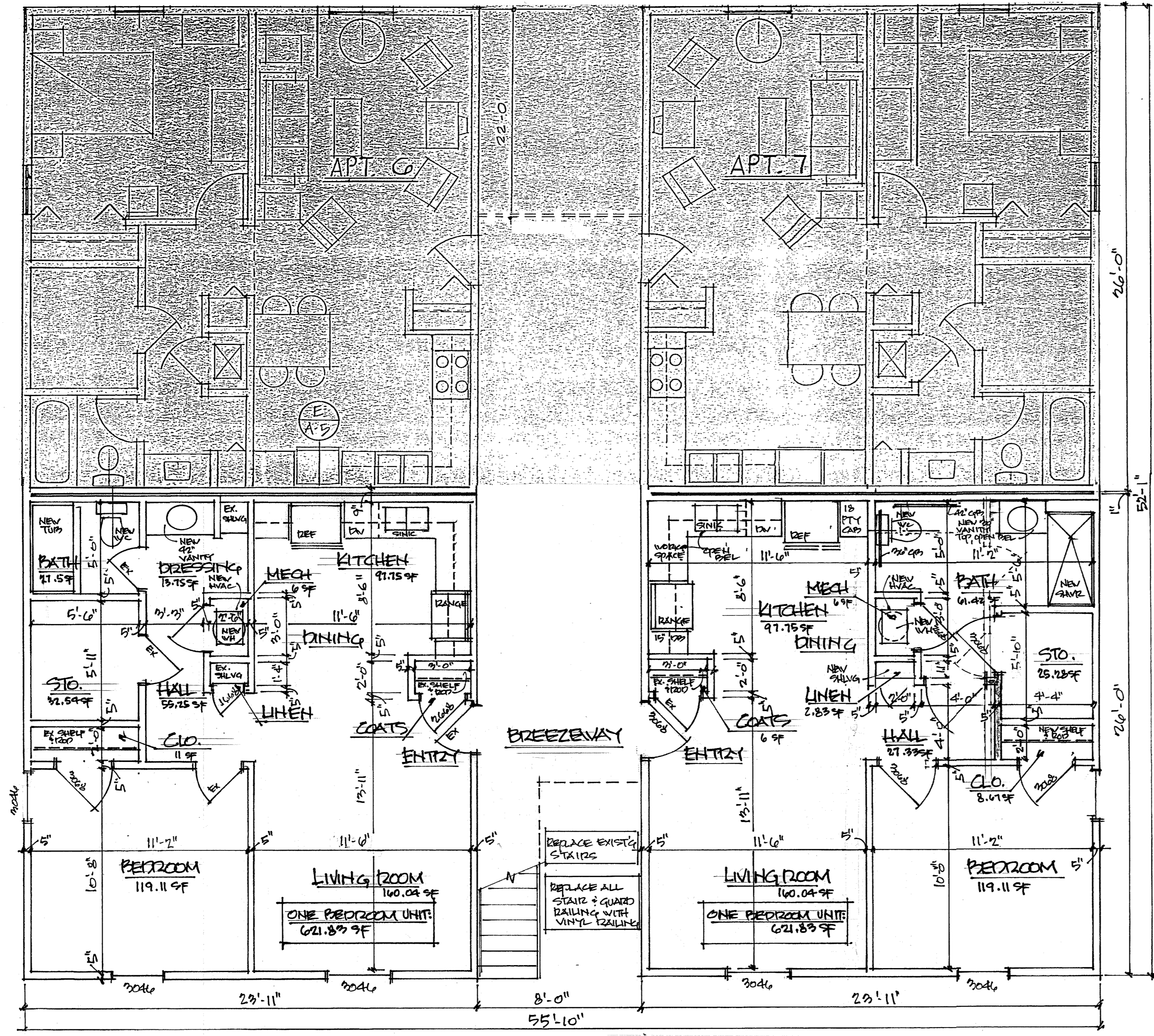


Title:
COVER SHEET

Date: **3.6.18**
 Revisions:

Drawn By: **DCH**
 Review By: **DCH**
 Project No: **1707**

Sheet No.
CVR

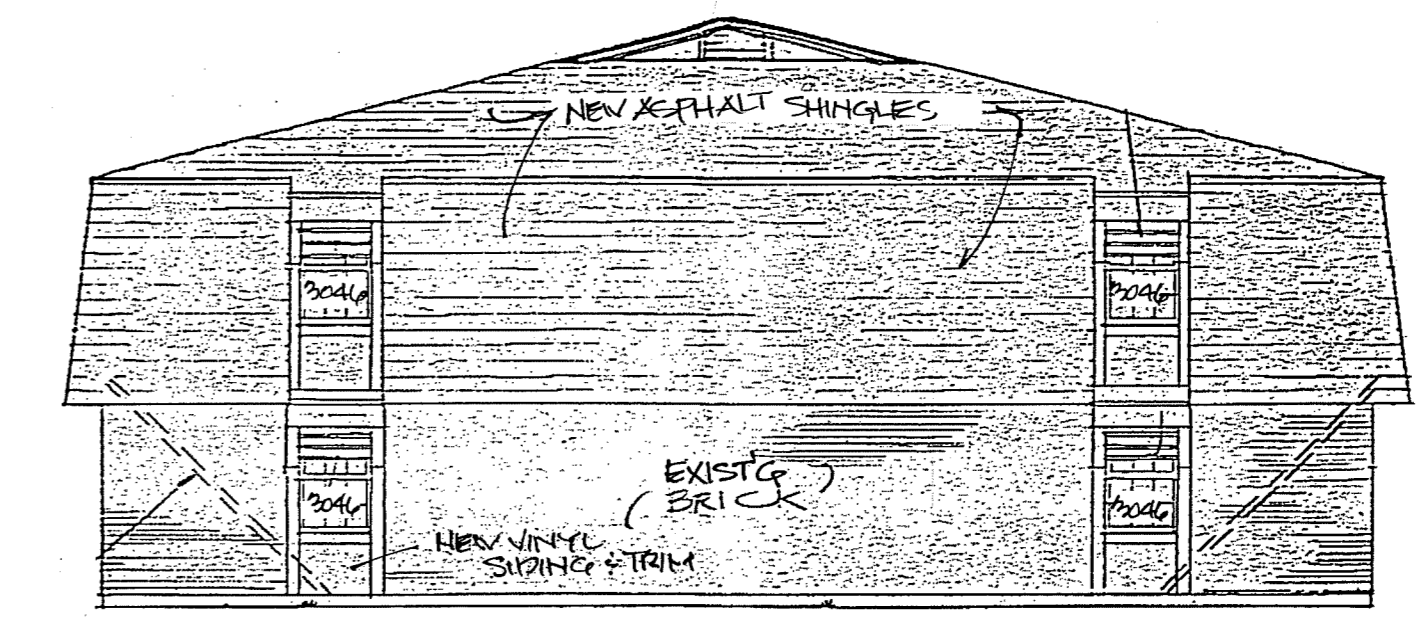


TYPICAL ONE-BEDROOM UNIT
PLANS SIMILAR FOR FIRST AND SECOND FLOORS

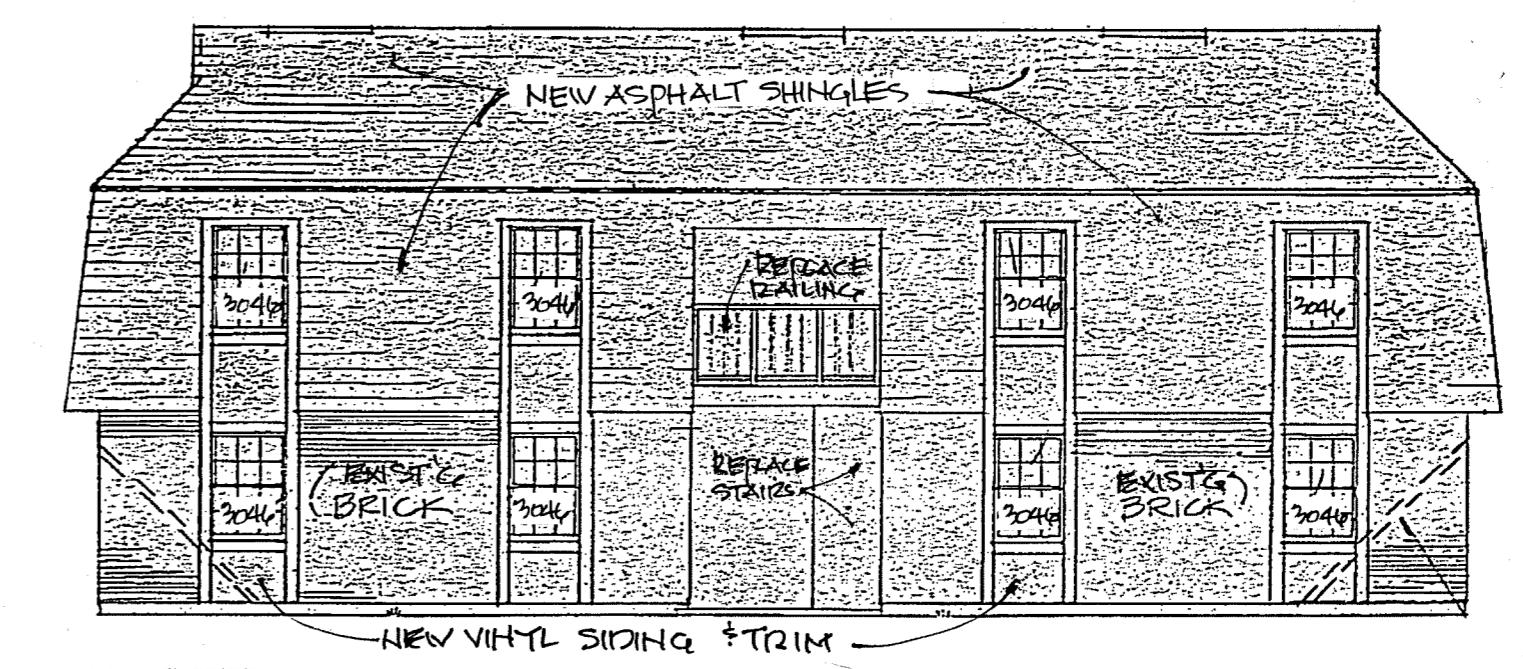
H/C ONE-BEDROOM UNIT

BUILDING TYPE B, EIGHT 1-BEDROOM UNITS

BUILDING/UNIT PLANS SC. 1/4" = 1'-0"

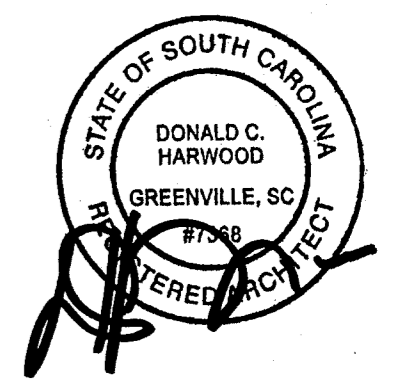


BUILDING TYPE B
RIGHT ELEVATION SC. 1/8" = 1'-0"
LEFT ELEVATION SIMILAR, OPPOSITE HAND



BUILDING TYPE B
FRONT ELEVATION SC. 1/8" = 1'-0"
REAR ELEVATION SIMILAR, OPPOSITE HAND

Seal



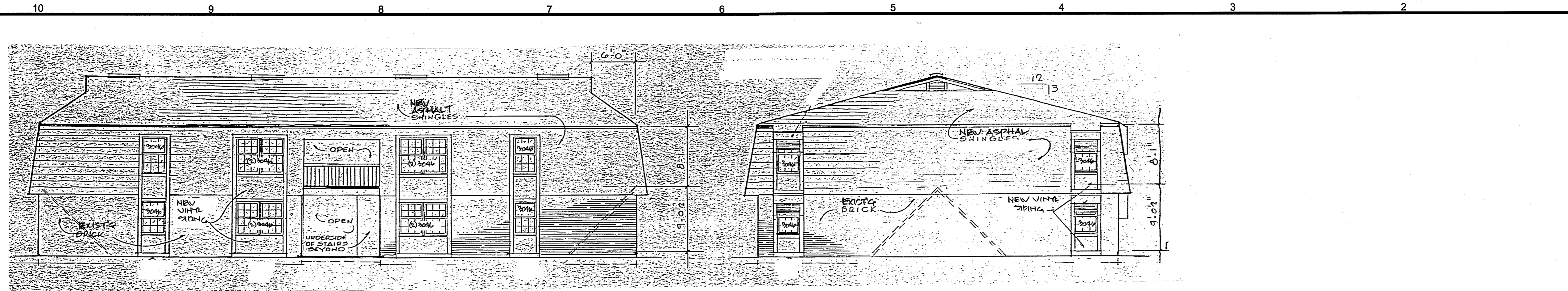
Title:
BUILDING TYPE B
+ FLOOR PLANS
+ EXTERIOR ELEVATIONS

Date: 3.6.18
Revisions:

Drawn By: DCH
Review By: DCH
Project No. 1707

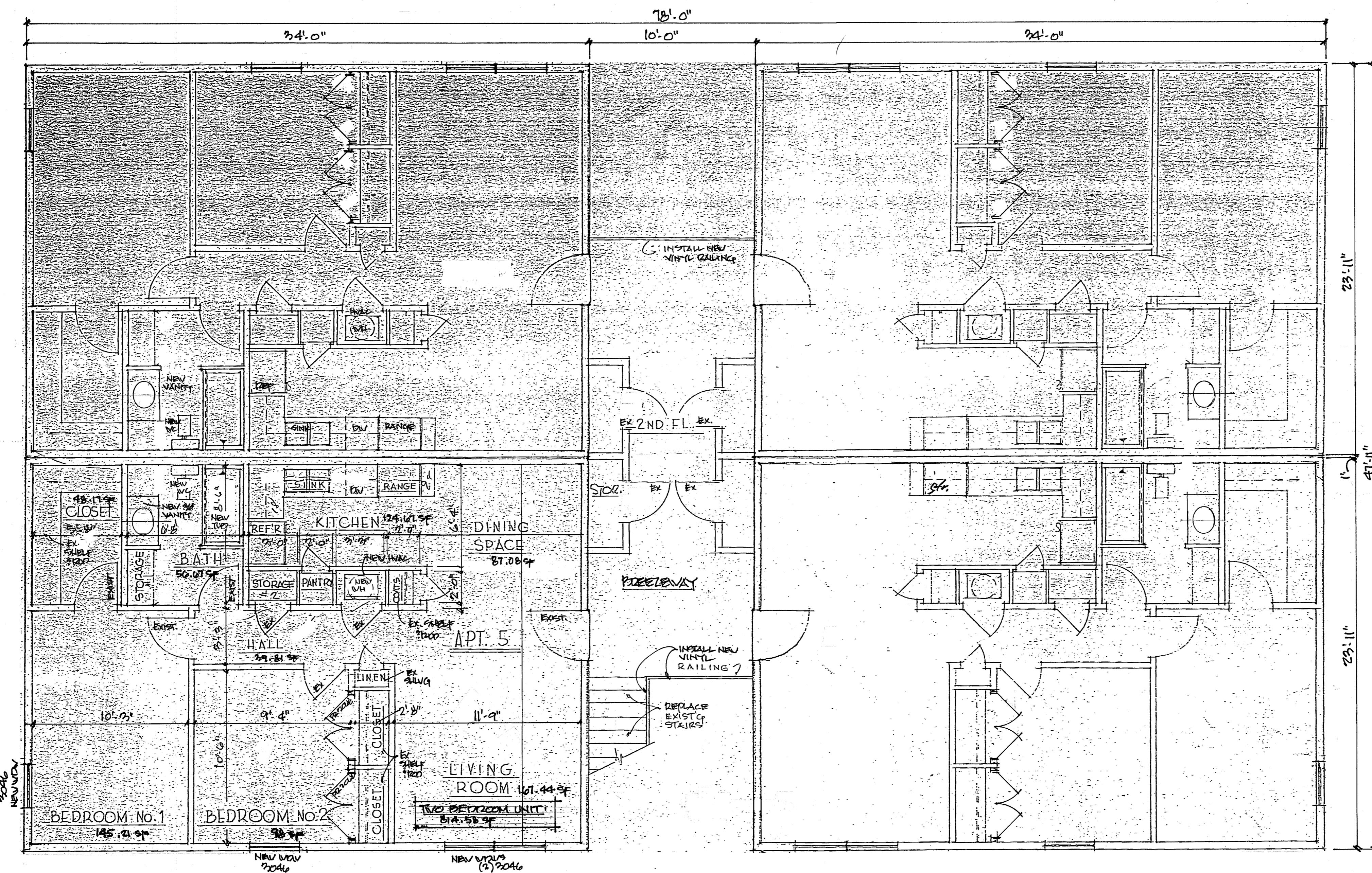
Sheet No.

A1.1



BUILDING TYPE A, (8) TWO 2-BEDROOM UNITS
FRONT ELEVATION SC. 1/8" = 1'-0"
 REAR ELEVATION SIMILAR, OPPOSITE HAND

BUILDING TYPE A, (8) TWO 2-BEDROOM UNITS
RIGHT ELEVATION SC. 1/8" = 1'-0"
 LEFT ELEVATION SIMILAR, OPPOSITE HAND



BUILDING TYPE A, (8) TWO 2-BEDROOM UNITS
FLOOR PLAN SC. 1/4" = 1'-0"
 PLAN SIMILAR FOR FIRST AND SECOND FLOORS

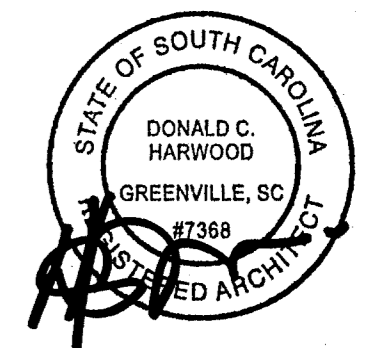
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 29609

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 dharwood8@gmail.com

SUMMERVILLE VILLAS
 350 LUDEN DRIVE, SUMMERVILLE, SC



Title:
BUILDING TYPE A
1-FLOOR PLAN
+ PLUG ELEV'S

Date: 07.16.18

Revisions:

Drawn By: TCH

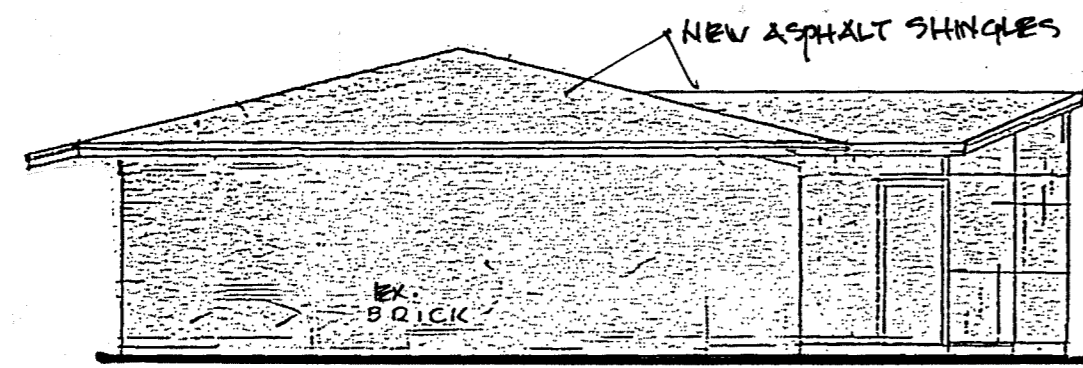
Review By: TCH

Project No. 1707

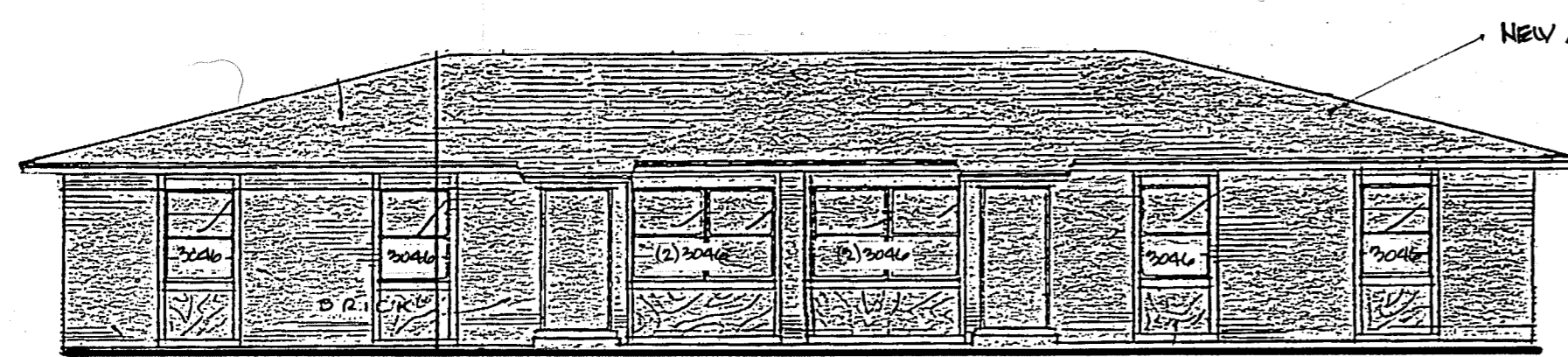
Sheet No.

A1.2

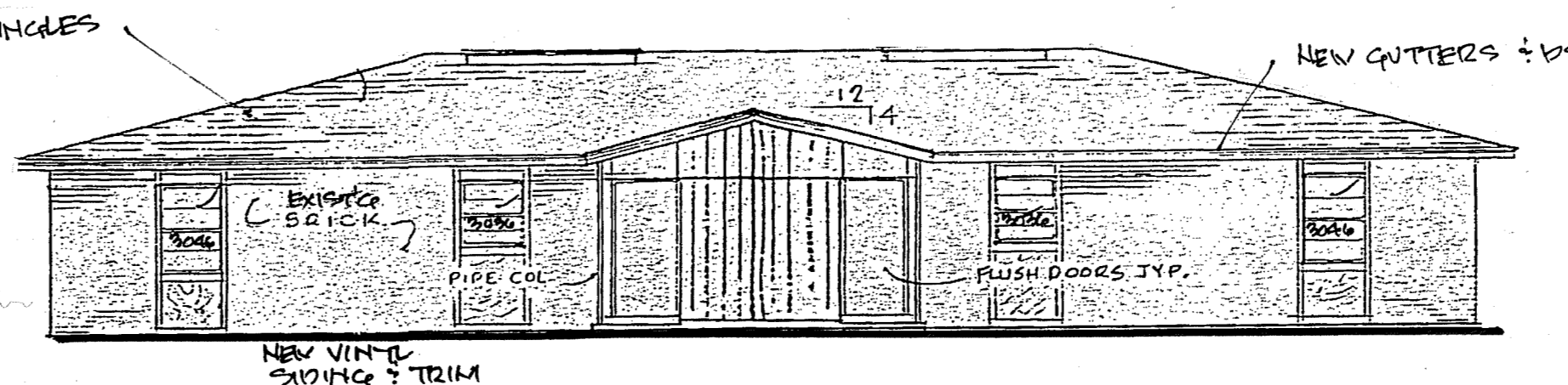
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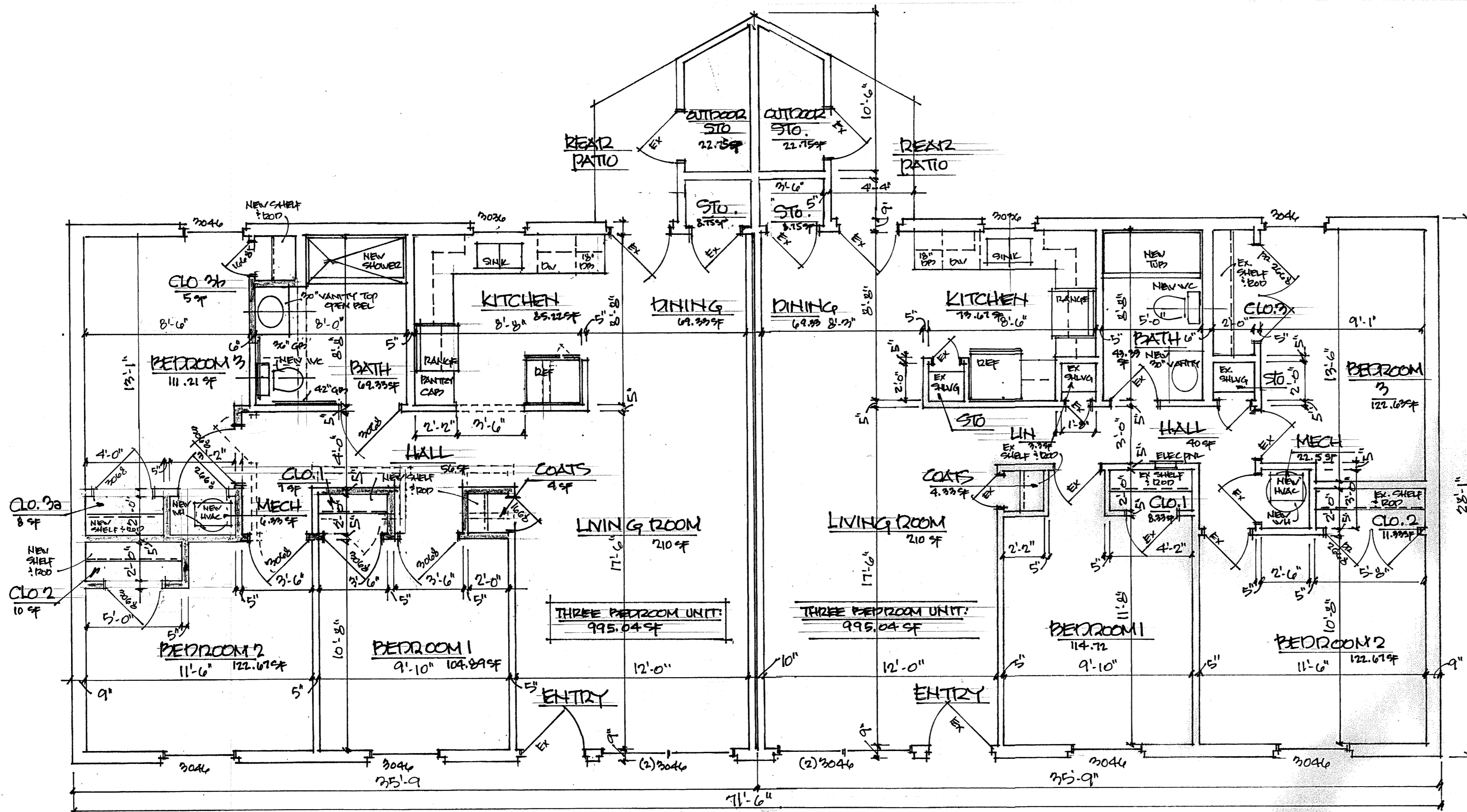
BUILDING TYPE C, TWO 3-BEDROOM UNITS
RIGHT ELEVATION SC. 1/8" = 1'-0"
 LEFT ELEVATION SIMILAR, OPPOSITE HAND



BUILDING TYPE C, TWO 3-BEDROOM UNITS
FRONT ELEVATION SC. 1/8" = 1'-0"



BUILDING TYPE C, TWO 3-BEDROOM UNITS
REAR ELEVATION SC. 1/8" = 1'-0"



H/C THREE-BEDROOM UNIT SC. 1/4" = 1'-0"

TYPICAL THREE-BEDROOM UNIT SC. 1/4" = 1'-0"

BUILDING TYPE C, (2) THREE BEDROOM UNITS
BUILDING/UNIT PLANS SC. 1/4" = 1'-0"



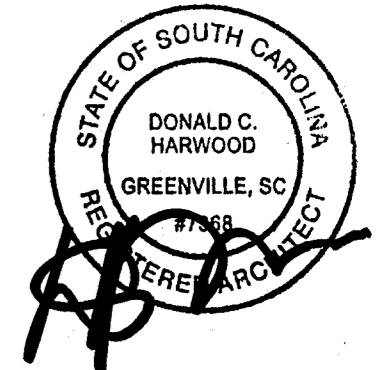
DCHA

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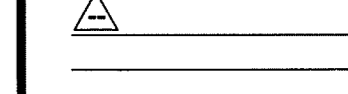
SUMMERVILLE VILLAS
 350 LUDEN DRIVE, SUMMERVILLE, SC



Title:
BUILDING TYPE C
 FLOOR PLANS
 BLDG ELEV'S

Date: 7.6.18

Revisions:



Drawn By: DCH

Review By: DCH

Project No. 1707

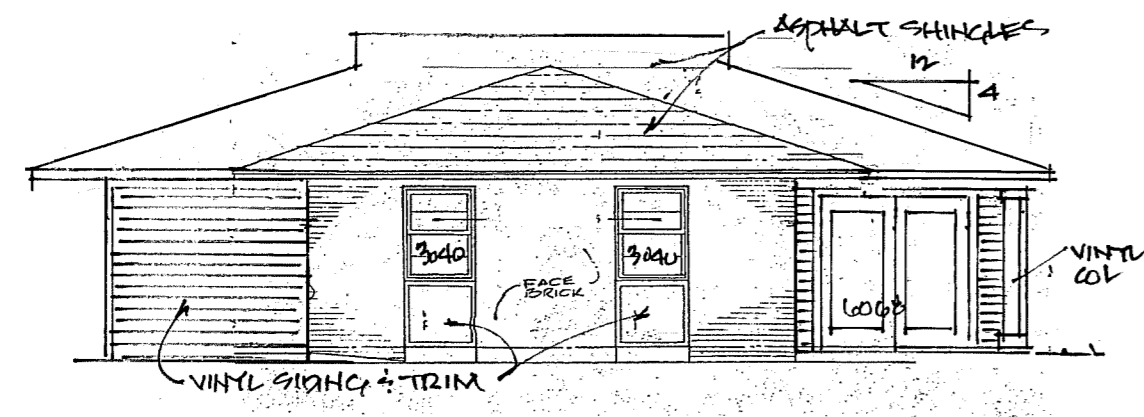
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A1.3

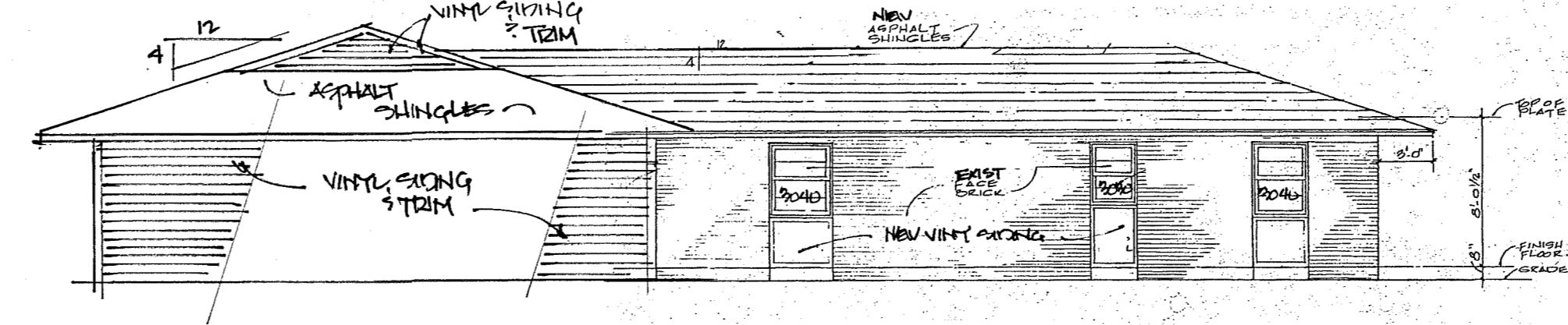
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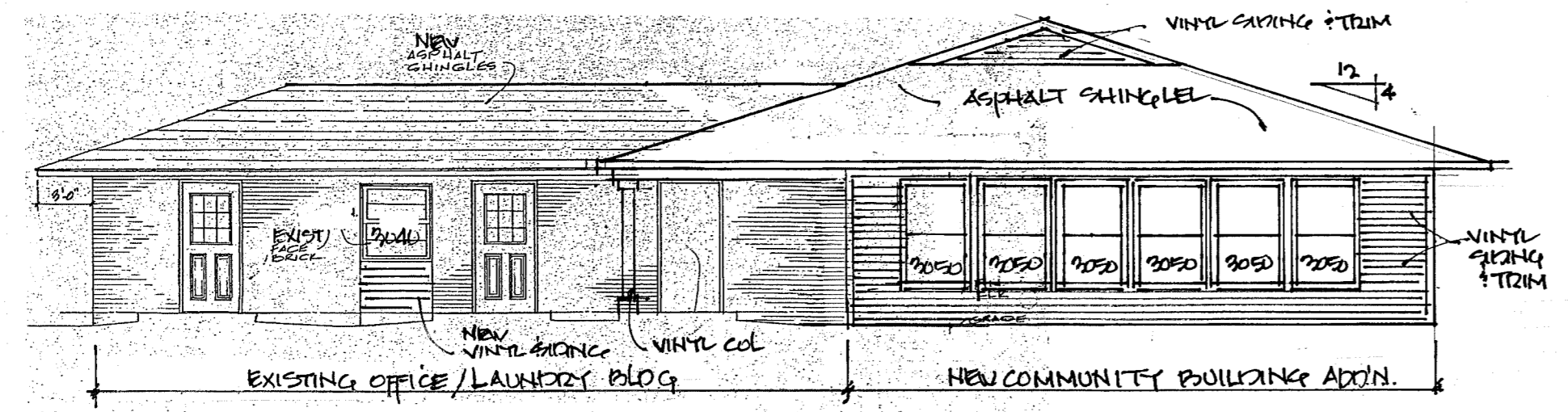
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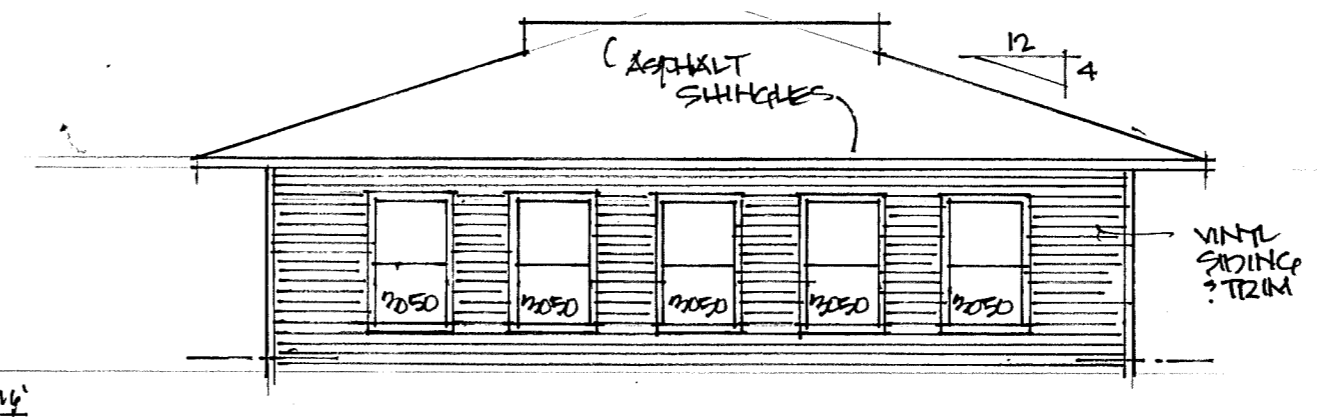
LEFT SIDE ELEVATION



REAR ELEVATION

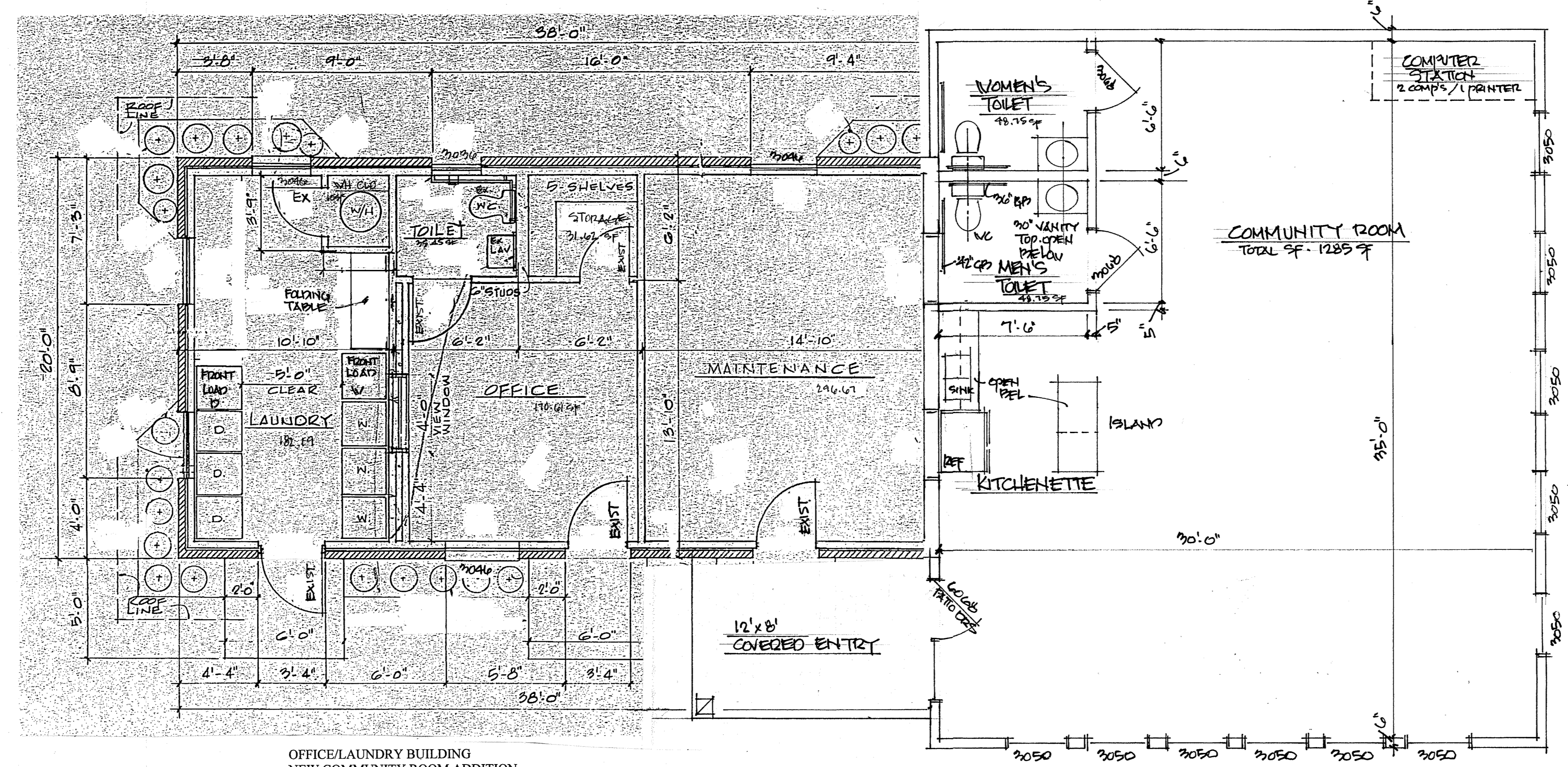


FRONT ELEVATION



RIGHT SIDE ELEVATION

OFFICE/LAUNDRY BUILDING
NEW COMMUNITY ROOM ADDITION
BUILDING ELEVATIONS SC. 1/8" = 1'-0"



OFFICE/LAUNDRY BUILDING
NEW COMMUNITY ROOM ADDITION
BUILDING PLAN SC. 1/4" = 1'-0"

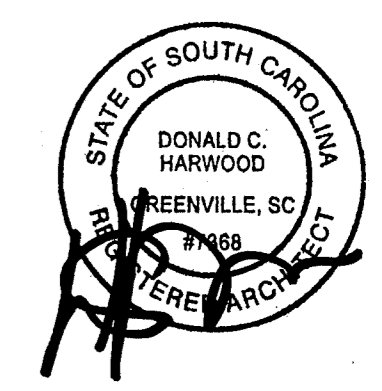
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SUMMERVILLE VILLAS
350 LUDEN DRIVE, SUMMERVILLE, SC



Title:
**OFFICE/LAUNDRY BLDG
NEW COMMUNITY
ROOM ADDITION**
+ PLAN
+ ELEVATIONS

Date: 2.6.13
Revisions:
△

Drawn By: KCH
Review By: KCH
Project No. 1707

Sheet No.

A3.1

10 9 8 7 6 5 4 3 2 1

DCHa

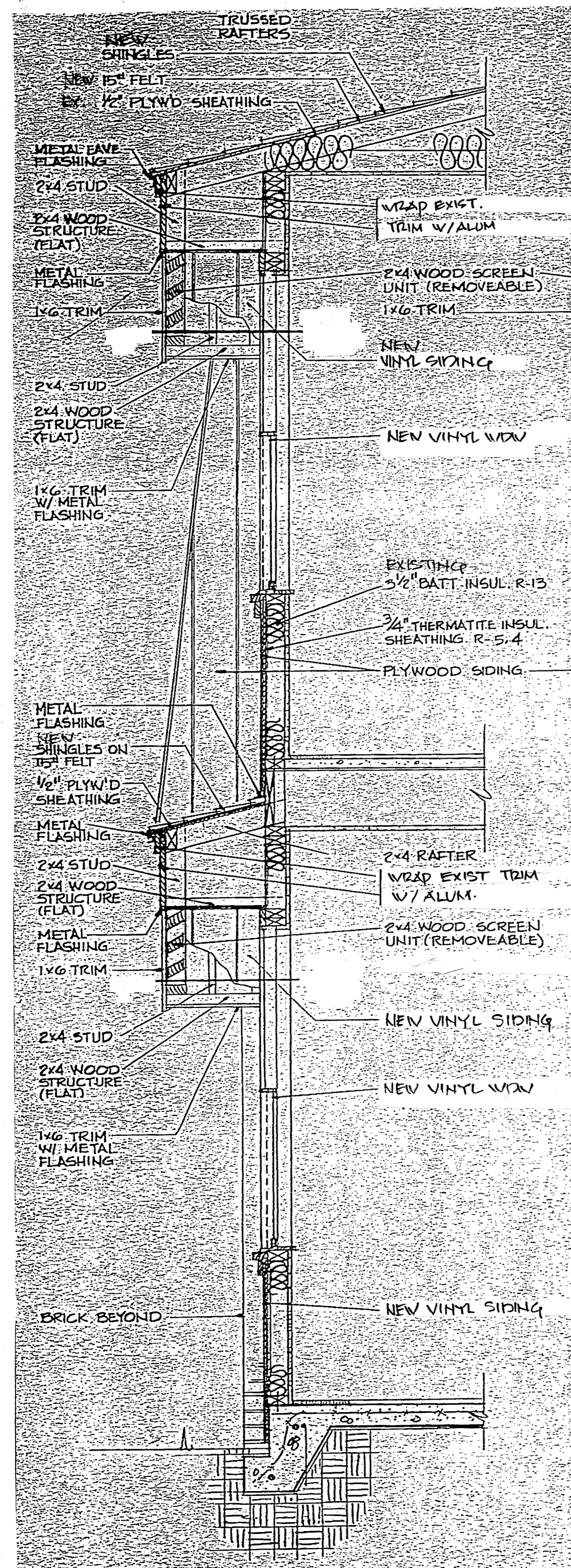
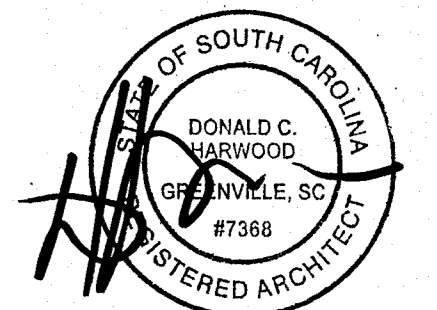
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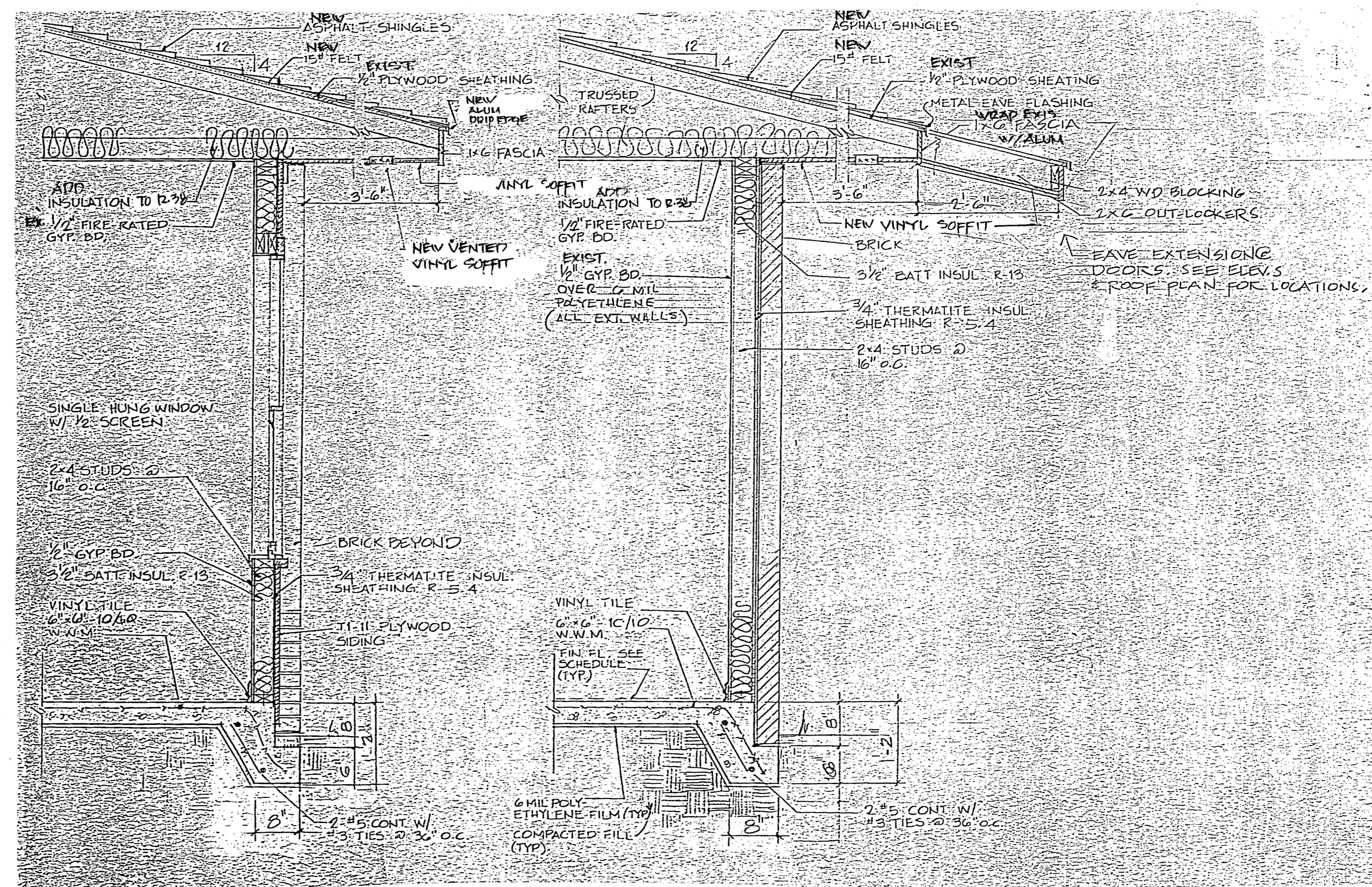
864.915.2126
dharwood08@gmail.com

SUMMERVILLE VILLAS
350 LUDEN DRIVE, SUMMERVILLE, SC

Seal



TWO STORY BUILDINGS
TYPICAL WALL SECTION
SC 3/4" = 1'-0"



ONE STORY BUILDINGS
TYPICAL WALL SECTIONS
SC 3/4" = 1'-0"

Title:
TYPICAL WALL SECTIONS

Date: 3.6.18

Revisions:

Drawn By: DCH
Review By: DCH
Project No. 1707

Sheet No.

A4.1

Exhibit R


2018 Physical Needs Assessment Certification Form

I, Donald C. Harwood, have completed a physical needs assessment report for the proposed development, Summerville Villas, which is located at 350 Luden Drive, Summerville, Dorchester County, South Carolina.

I hereby certify that all of the repairs outlined in the physical needs assessment report dated 3.6.18 are needed and necessary repairs and that said report is based on a **100% physical inspection of all units** in the development.

I hereby certify that the following major systems have not been replaced within the past seven (7) years: Roofing, gutters/downspouts, siding, windows, HVAC, Water Heaters, Kitchen Cabinets/Appliances,
Bath Fixtures (including tubs), Light Fixtures, Flooring, and Paint

Based on my calculations, I hereby certify that a total of \$ 48,805.00 per unit in **hard construction costs** needed and necessary in the rehabilitation of this property.

Assessor's Signature: 

Assessor's Name: Donald C. Harwood

Company: Donald C. Harwood, Architect, PLLC

Phone Number: 864/915.2126 Fax Number: NA

Date: 3.6.18

EXHIBIT G

South Carolina State Housing Finance and Development Authority 2018 Architect and/or Professional Engineer Certification

Development Name: SUMMERVILLE VILLAS Total # of Bldgs. in the project: 10

Low Income Units

Unit Type:	# of Units:	# of Baths:	Heated Area:	Total Heated Area:
Efficiency				
1 Bedroom	8	8	621.83	4,974.64
2 Bedroom	24	24	814.58	19,549.92
3 Bedroom	10	10	995.04	9,950.4
4 Bedroom				
Living Units Total:	42	Sub-Total Residential Heated Sq. Ft.:		34,474.96 s.f. (A)

Type:	# of Type:	Area:	Total Area:
Covered Porches			
Breezeways	4	373.42	1,493.68
Outside Storage	8	71.25	570.0
Other: _____			
TOTAL NON-HEATED AREA:			2,063.68 s.f.

Market Rate Units

Unit Type:	# of Units:	# of Baths:	Heated Area:	Total Heated Area:
Efficiency				
1 Bedroom				
2 Bedroom				
3 Bedroom				
4 Bedroom				
Living Units Total:		Sub-Total Residential Heated Sq. Ft.:		0.00 s.f. (B)

Type:	# of Type:	Area:	Total Area:
Covered Porches			
Breezeways			
Outside Storage			
Other: _____			
TOTAL NON-HEATED AREA:			0.00 s.f.

COMMON AREAS

Office Area:	210.83	s.f.	210.83	s.f.
Laundry:	177.22	s.f.	177.22	s.f.
Exercise Room:				
Computer Room:				
Community Building:	938.0	s.f.	938.0	s.f.
Other: <u>TOILETS</u>	97.5	s.f.	97.5	s.f.
Sub-Total Non-Residential Heated Sq. Ft.:			1,423.55 s.f. (C)	

TOTAL HEATED AREA (A+B+C): 35,898.51 **s.f.**

NOTE: All square footages listed on Exhibit G must match those listed in the tax credit application. All heated and non-heated square footage for the entire development must be included on this form and on any submitted drawings.

MANDATORY DESIGN CRITERIA

The development will be designed and constructed incorporating the following **Mandatory Design Criteria** included at no extra cost to the tenants.

For All Development Types:

1. Window coverings for each window, including glass doors, must be installed. Metal blinds are not permitted.
2. All kitchen and bathroom interior cabinets must be solid wood or wood/plastic veneer products with dual slide tracks on drawers. New cabinets must have solid wood dual sidetrack drawers and no laminate or particleboard fronts for doors or drawer fronts. Cabinets shall meet the ANSI/KCMA A1 61.1 performance and construction standard for kitchen and vanity cabinets. Cabinets shall bear the certification seal of KCMA (Kitchen Cabinet Manufacturers Association).
3. All entry doors must be metal-clad wood, steel or fiberglass doors that are insulated, paneled, and have a peephole. Deadbolt locks are required in entry doors. Dead bolt locks on entry doors should have "thumb latch" on interior side. Double keyed dead bolt locks are prohibited. The minimum clear width of all exterior doors shall be 34 inches.
4. Bi-fold and sliding interior doors are prohibited. All doors must be side hinged.
5. A landscaping plan must be submitted indicating areas to be sodded and landscaped. Landscaping plan(s) must follow any applicable landscape municipal ordinance. At a minimum, sod shall be installed on the front and side areas to a point twenty (20'-0") feet from the building(s). Landscaping may incorporate sod and drought resistant plants and shrubs. All disturbed areas not sodded must be seeded. The Authority reserves the right to approve the final landscaping installation and require modifications.
6. All retention and/or detention ponds must be fenced in unless a letter is provided from the Department of Health and Environmental Control (DHEC) that a fence is not required. The storm water retention/detention basin design, maintenance and management shall be the sole responsibility of the owner/developer and shall be in strict accordance with all applicable federal, state, local and environmental regulations governing storm water retention/detention basins.
7. A recreation area suitable for proposed tenant targeting:
 - a. For family developments – (i) Playground for children located away from automobile traffic patterns with commercial quality play equipment (the playground area must have a minimum of four (4) separate pieces of equipment or a structure that encompasses a minimum of four (4) pieces of equipment) accessible to handicapped traffic and at least one permanently anchored, weather resistant bench, with a back, or (ii) an exercise room with a minimum of three nautilus-type work-out machines (this room's square footage may be included in the minimum 1,200 sq. ft. community building);
 - b. For older persons developments – (i) An exercise room with a minimum of three (3) nautilus type work-out machines (this room's square footage may be included in the minimum 1,200 sq. ft. community building), or (ii) a minimum of one gazebo that is covered, with bench seating, equipped with an Energy Star ceiling fan with light fixture.
8. A new development sign at the entrance(s) to the complex affixed with a Fair Housing logo.
9. Exterior lighting fixtures at all entry doors including individual apartment units, community buildings, and common areas within the building(s). Fixtures at the individual apartment units are to be controlled from the interior of the unit.
10. Enclosed trash dumpsters and/or compactors. The dumpster must be enclosed by solid fencing on at least three sides. The pad and approach pad to the dumpster must be concrete and not asphalt. The trash dumpster/compactor must be ADA accessible and located on an ADA accessible route.
11. Roofing materials shall be anti-fungal shingles with a minimum 25-year warranty.
12. The following Energy Star appliances must be provided in each unit: Full sized refrigerator-freezer, with ice maker, having a minimum size of fourteen (14) cubic feet.
13. At least fourteen (14) SEER HVAC units must be installed. If the Physical Needs Assessment, completed for a rehabilitation development, does not recommend replacement of existing HVAC units in the development, this mandatory criterion is waived. However, any replacement HVAC units installed in the development must be at least fourteen (14) SEER. All refrigeration lines must be insulated. All developments must have central heat and air. Window units are not allowed for any development type.
14. A laundry facility containing: (a) at least one (1) commercial washer and one (1) commercial dryer per twenty-four (24) units; and (b) adequate seating and at least one (1) table for folding clothes. For developments containing more than one hundred (100) rental units that also provide washer and dryer hookups in all units, a minimum of one (1) commercial washer and one (1) commercial dryer per thirty-two (32) units is required. Single family detached unit, townhouse, or duplex developments must provide a washer and dryer hookup in every unit. Developments providing washers and dryers in all rental units are not required to provide a laundry facility.
15. Each unit must be equipped with a 5 lb. ABC rated dry chemical fire extinguisher readily accessible in the kitchen and mounted to accommodate handicapped accessible height in accessible units. Fire extinguisher

must be either clearly visible or if contained in a cabinet/pantry area must have signage identifying location.

16. Wall switch controlled Energy Star rated overhead lighting is required in all rooms.
17. Sites located in a Radon Zone-1 (highest level) will require Radon Resistant New Construction Practices. Rehabilitation projects must meet the Radon Mitigation Standards as required by the Environmental Protection Agency.
18. All new construction developments must submit a complete site specific soils report and boring site plan, not more than one year old at the time of submission of final plans and specifications, bound within the project specifications. Rehabilitation projects adding any new building foundations must submit a foundation specific soils report. The soils report must reflect the results of laboratory tests conducted on a minimum of one (1) soil boring per planned building location and a minimum total of two (2) soil borings at the planned paved areas of the development. A registered professional engineer or a certified testing agency with a current license to practice in the State of South Carolina must prepare the report. Rehabilitation projects adding any new building foundations must also submit a foundation specific soils report and boring site plan.
19. Metal flashing or 20 mil polyethylene when used in conjunction with a self-adhering polyethylene laminate flashing, must be installed above all exterior door and window units.
20. Mailboxes, playground and all exterior project amenities must be ADA accessible.
21. Exterior wall insulation must have an overall R-13 minimum for the entire wall assembly and roof or attic insulation must have an R-30 rating minimum.
22. Tub/shower units must have minimum dimensions of 30-inch width by 60-inch length and be equipped with anti-scald valves. All shower units without a tub must have minimum dimensions of 36-inch width by 48-length (ADA approved shower). All tubs in designated handicap accessible units must come complete with "factory-installed grab bars".
23. Mirror length must extend to top of vanity backsplash with top of mirror a minimum of 6'-0" above finish floor. Framed decorative mirrors or medicine cabinets with mirrors are allowed with a minimum size of 14" x 24" and must be hung with the top of mirror a minimum of 6'-0" above finish floor. Vanity cabinets or a medicine cabinet shall be provided in all units. All cabinets in designated handicap accessible units must be installed at ADA mounting heights.
24. Water heaters must be placed in drain pans with drain piping plumbed to disposal point as per the latest approved addition of the International Plumbing Code.
25. Pipe all Temperature & Pressure (T&P) relief valve discharges to disposal point as per the latest approved edition of the International Plumbing Code.
26. Exterior shutters (new not recycled) are required on all 100% vinyl siding buildings. Only existing rehabilitation developments may have 100% vinyl building exteriors.
27. Roof gable vents must be made of aluminum or vinyl materials.
28. All attics must be vented.
29. Carpet and Resilient flooring materials must meet minimum FHA standards.
30. Each bedroom and hallway, etc. must have, as required by Code (local, state or Federal) a hard-wired battery back-up smoke detector.
31. All materials for construction must meet all local, state, and federal and environmental regulations and specifications.
32. A carbon monoxide detector must be installed in each unit with gas mechanical systems or gas appliances. Units with an attached garage must also have a carbon monoxide detector installed. A combination unit smoke detector and carbon monoxide detector can be used to meet this requirement.
33. Pre-finished fascia and soffits must be vinyl covered aluminum and/or perforated cementitious panels with vents.
34. Gutter and downspout systems complete with splash blocks will be supplied surrounding all residential buildings.
35. Gazebos, Picnic Shelters, Mail Kiosks, etc.: Exposed components used as part of the structure must be constructed so that no wood is exposed. Concealment shall be with materials such as aluminum or vinyl siding or cementitious materials. Decorative rails and/or guard rail systems used shall be code compliant systems of vinyl, fiberglass or metal. Wood railings are not allowed. Gazebos and picnic shelters shall have table and bench seating.
36. At a minimum, all development must meet the 2006 International Energy Conservation Code.
37. Developments that have units, by bedroom size, smaller than the following square footages are considered to be obsolete units and are not eligible for funding:

<u>Bedrooms per Unit</u>	<u>Minimum Sq. Ft. per Unit</u>
One	500
Two	700
Three	850
Four	1,000

For All New Construction Developments:

1. All units must be equipped with an Energy Star rated dishwasher and an Energy Star rated hot water heater with an energy factor of 0.61 for gas or 0.93 for electric. Submit manufacturer's data sheet with plans.
2. All units must have Energy Star rated windows. Submit manufacturer's data sheet with plans.
3. All units must have an Energy Star rated HVAC system. Submit manufacturer's data sheet with plans.
4. Lighting must be in all common area corridors, stairwells, and the community room. Interior light fixtures to be fitted with Energy Star light bulbs.
5. Low flow water saving features must be used- low flow showerheads, low flow kitchen and bathroom faucets, and low flow toilets. Submit manufacturer's data sheet with plans.
6. Washer/dryer hookups in all units.
7. A minimum 1200 square foot community building to include a kitchen/break room area equipped with, at a minimum, a sink and refrigerator and either a stove/microwave. Entire facility must be ADA compliant. The square footage counted towards this total may include a leasing office, an equipped exercise room, and an equipped computer center. Laundry rooms and storage/maintenance rooms will not be counted as part of the 1200 square foot minimum. For developments proposing the second phase of a previously completed contiguous tax credit development, the requirement for an additional 1200 square foot community building is waived. However, it is required that laundry facilities be provided to the new phase and must be constructed on the site of the proposed phase. The mandatory laundry facility requirements under Section V. Mandatory Design Criteria, item 14 must be met.
8. All units pre-wired for cable television hook-ups in the living room and one (1) per bedroom.
9. Units with three (3) or more bedrooms must have a minimum of two (2) full bathrooms.
10. The minimum bedroom size for the primary bedroom in each unit must be at least 168 square feet. All other bedrooms must be a minimum 120 square feet. The minimum bedroom square footage excludes the closet space.
11. All older persons (55+ years) and elderly developments will be one-story structures, or if greater than one story, all stories will be accessible by elevators.
12. All sidewalks and walkways shall be a minimum of 36" in width and made of concrete and shall provide access to all parking spaces, front entryway doors, common amenities and driveways and shall be ADA compliant.
13. Sliding glass doors are prohibited.
14. Water closets must be centered, at a minimum, 18 inches from sidewalls or vanity/lavatories.
15. Public use stairway components, such as stringers, treads, and risers must be constructed from steel or concrete. Handrails and pickets must be constructed from steel or aluminum.
16. Patio and porch/balcony components used as part of the building shall have concrete slabs or decks and must be constructed so that no wood is exposed. Concealment shall be with materials such as aluminum or vinyl siding or cementitious materials. Structural wood columns shall be at a minimum 6" x 6" pressure treated columns concealed as noted above with properly sized fiberglass, high density urethane or aluminum columns. Decorative rails and/or guard rail systems used at porches and patios shall be code compliant systems of vinyl, fiberglass or metal. Wood railings are not allowed.
17. Wall Framing: Sound proofing or sound batt insulation is required between the stud framing in party walls. A sound rating of STC 54 is required.
18. Fluorescent lighting is required in the kitchen.

For All Single Family Townhouse, and Duplex Developments:

1. All detached single family homes must contain a minimum of three (3) bedrooms and two (2) full bathrooms.
2. All townhouses must contain a minimum of two (2) bedrooms and one and one-half bathroom. At a minimum, a half bathroom must be located on the first floor.
3. All duplexes must contain a minimum of two (2) bedrooms and one and one-half bathroom.
4. Developments must have concrete driveways, curbing at street and front entry walkways.
5. All new construction developments must have a washer and dryer hookup in each unit.
6. All HVAC and hot water heaters must be contained within the unit/building. These may not be located in the attic or crawl space.

For All Rehabilitation Developments:

Any of the following mandatory items (not to include repainting of the entire unit) replaced on or after January 1, 2011 are not required to be replaced as part of the rehabilitation.

1. Replace and install new flooring in each unit. At a minimum, tile must be VCT or better.
2. Entire unit (all rooms and ceilings) must be repainted.
3. New bathroom fixtures must be installed to include the following:
 - a) New tub and new shower, re-glazing not allowed. Three piece surround insert is acceptable. All caulking must be replaced.

- b) Replace sink, vanity and plumbing fixtures with new. Vanity to include, at a minimum, a pull out drawer and/or storage area.
- c) New toilet.
- d) Install new re-circulating exhaust fan.
- e) Install new water supply valves.
- 4. New kitchen fixtures must be installed to include the following:
 - a) Dual track sliding drawers.
 - b) New double sink and plumbing fixtures.
 - c) New stove with re-circulating exhaust fan.
 - d) New Energy Star rated refrigerator, with ice maker that is a minimum of 14 cubic feet.
 - e) Install new water supply valves.
- 5. All entry doors must be steel or fiberglass doors that are insulated, paneled, and have a peephole.
- 6. New Energy Star hot water heaters with an energy factor greater than 0.61/gas or 0.93/electric.
- 7. Replace all windows with insulated, double pane glass in either vinyl or aluminum framing.
- 8. All units wired for high speed (broadband) Internet hook-up with at least one (1) centrally located connection port or wireless computer network. All wires to be hidden.
- 9. Units with existing washer/dryer connections must replace and install new water supply fixtures and valves.
- 10. All older persons (55+ years) and elderly acquisition/rehabilitation developments may have more than one-story, provided that existing elevators, receiving regular maintenance, are in good working condition as of the initial Tax Credit Application submittal date and service all upper level rental units. Those developments without existing elevators will be required to install elevators.
- 11. Window blinds and exterior window screens to be replaced.
- 12. Replace all damaged and worn interior doors, jambs, frames, and hardware.

For All Adaptive Reuse Developments:

The definition of "adaptive reuse" is the conversion of an existing non-residential building(s) into a residential building(s). The architect must certify on **Exhibit G** that the development will meet the following requirements:

- 1. A minimum of fifty percent (50%) of the square footage of each existing building(s) must be converted to residential use; and
- 2. If additional buildings/units are constructed to provide additional space, the total square footage of the previously existing building(s) must constitute a minimum of fifty percent (50%) of the total square footage of the entire development.
- 3. Reseal all asphalt parking and roadway surfaces throughout the development.

MARK the appropriate box(es) below, thereby indicating that the development will be designed and constructed incorporating the design criteria selected:

Optional Development Design Criteria:

- 1. Roof shingles must be architectural style anti-fungal and warranted for a minimum of thirty (30) years.
- 2. Attic insulation rated at R-38 or higher.
- 3. Energy Star rated HVAC systems (15 SEER or greater) in all units.
- 4. All units must have a balcony, sunroom, or patio. A sunroom must contain a minimum of three (3) window panels and have distinct architectural separation from the living room. Patios must be at least 64 sq. ft. Front porches are not considered patios.
- 5. Curbing for paved areas throughout the development site including the parking areas.
- 6. Gazebo (Must be covered and have bench seating; must be permanently affixed and constructed in place; be ADA compliant, accessible and contain a minimum of 100 square feet) or covered picnic shelter (must have a table and bench seating and must be ADA compliant and accessible) in an appropriate location.
- 7. Irrigation/sprinkler system serving all landscaped areas.
- 8. Underground utilities (gas/electric, cable and phone) throughout the development site.
- 9. Provide in the community room a minimum of two (2) current updated computer systems, manufactured within the last 12 months, to include new computers, new printers, and a new scanner. The computers must be equipped with high speed Internet service (e.g. broadband or cable).
- 10. Each unit must have an Energy Star ceiling fan with light fixture in the living room and all bedrooms. All ceiling fans and overhead lights must connect to wall switches.
- 11. Full size Energy Star refrigerator, with ice maker, having a minimum size of eighteen (18) cubic feet.
- 12. All units must be pre-wired for high speed (broadband) Internet hook-up with at least one (1) centrally located connection port and connection ports in all bedrooms or wireless computer network.
- 13. Over the range mounted microwave oven, with re-circulating fan, in all units.

- 14. All units must have a Range Queen, Fire Stop, Auto Stop or comparable extinguishing system over the stove.
- 15. A minimum square footage per unit based on the number of bedrooms per unit specified as follows. To qualify, all of the units must meet the minimum square footage per unit. The Authority considers the square footage of an individual unit to be the usable living space measured from the interior wall to interior wall.

Bedrooms per unit	Minimum Sq. Ft. per Unit
One	750
Two	950
Three	1100
Four	1250

- 16. Providing bathrooms per unit based on the number of bedrooms according to the following. To qualify, all the units must provide the minimum number of bathrooms as specified.

Bedrooms per unit	Bathrooms per unit
One	One Full
Two	One Full and One 1/2 bath
Three	Two Full
Four	Two Full and One-Half

- 17. A minimum eight (8) camera video security system with at least one (1) camera monitoring all of the following areas: front of buildings, back of buildings, all levels of breezeways, community room, computer room, rental office, all site entrance/exit roadways, and parking area(s).
- 18. One (1) rental unit reserved for a security officer, on-site manager or maintenance person.
- 19. Walking trails, minimum 4 feet wide, paved and continuous. Trail should be a minimum 1250 linear feet. At a minimum one (1) permanently anchored weather resistant bench with back at the mid-point of the trail.
- 20. Perimeter fencing extending around all sides of the development site, except the development entrance(s). Chain link fencing not allowed.
- 21. Development to be built to meet, at a minimum, the Version 3.0 Energy Star Certification.
- 22. Provide an easily-accessible area that serves the entire development and is dedicated to the collection and storage of non-hazardous material for recycling, to include paper, corrugated cardboard, glass, plastics, and metals.

The following Optional Development Design Criteria are for rehabilitation developments only:

- 23. Install Energy Star rated dishwashers in all units.
- 24. Install overhead light fixture connected to a wall switch in the living room and all bedrooms. All light fixtures to be fitted with Energy Star light bulbs.
- 25. Provide one and one-half (1.5) bathrooms in all units with two (2) or more bedrooms.
- 26. Minimum bedroom size for all bedrooms in each unit is 120 square feet. The minimum bedroom square footage excludes the closet space.
- 27. Provide a minimum 1200 square foot community building excluding laundry and storage/maintenance areas.
- 28. Provide hookups for standard size washers/dryers in all units.
- 29. Energy Star rated windows in all units.
- 30. In all units, existing appliances replaced with full size Energy Star refrigerator, with ice maker, having a minimum size of eighteen (18) cubic feet; and an Energy Star rated dishwasher; and an Energy Star rated hot water heater with an energy factor greater than 0.61/gas or 0.93/electric.

Development Criteria:

- Development size- New Construction (**threshold**):
 _____ Development has at least 32 total units but has no more than 72 total units.
- Development size- Rehabilitation (**choose only one**):
 Development has at least 24 total units and is at or below 88 total units.
 Development has 89 to 104 total units.
- Durable construction, with respect to each building, one of the following applies (**choose only one**):
 _____ Brick/stone veneer or stucco minimum 60% and remaining exterior fiber cement and/or hardiplank.
 _____ Brick/stone veneer or stucco minimum 50% and remaining exterior fiber cement and/or hardiplank.
 _____ Brick/stone veneer or stucco minimum 30% and remaining exterior fiber cement and/or hardiplank.
 Brick/stone veneer or stucco minimum 50% and remaining exterior siding to be vinyl siding with a thickness of at least .044 mils; or full fiber cement.

For Adaptive Reuse Developments Only:

- A minimum of fifty percent (50%) of the square footage of each existing building(s) must be converted to residential use; and
- if additional buildings/units are constructed to provide additional space, the total square footage of the previously existing building(s) constitutes a minimum of fifty percent (50%) of the total square footage of the entire development.

For proposed Older Persons and Elderly Developments:


- Yes No Development contains all one-story units.
- Yes No Development currently has or will have elevator service to all upper level units.

Architect and/or Professional Engineer Certification:

The undersigned certifies to the South Carolina State Housing Finance and Development Authority (SCSHFDA) that (1) the above information is true and correct; (2) the development will be constructed in accordance with the mandatory and optional design criteria as stated in the body of this certification; and (3) the architect and/or professional engineer has reviewed the plans and specifications of the development to ensure that such plans and specifications comply with and the development has been constructed to comply with the accessibility and other requirements of Section 504 of the Rehabilitation Act, the Fair Housing Amendments to the Civil Rights Act of 1968, the American With Disabilities Act, 2010 Americans with Disabilities Act Accessibility Guidelines, local building codes, and any other applicable State or Federal legislation. The undersigned further certifies that s/he will verify that the construction of the development will meet, at a minimum, the following seven specific requirements based on HUD's Fair Housing Act regulations (24 C.F.R. Part 100 as modified or explained in guidelines, manuals, Q&A's, etc.): (1) accessible building entrance on an accessible route, (2) accessible and usable public and common use areas, (3) usable doors, (4) accessible route into and through the covered dwelling unit, (5) light switches, electrical outlets, thermostats and other environmental controls in accessible locations, (6) reinforced walls for grab bars, and (7) usable kitchens and bathrooms. **The undersigned acknowledges that the foregoing certifications will be relied upon by the SCSHFDA and that any misrepresentation, whenever discovered, will result in a) the undersigned and the Developer both being debarred from participation in any Authority administered programs for a minimum of one (1) year and b) the filing of a complaint against the architect/professional engineer with the S.C. Department of Labor, Licensing and Regulation.**

Firm: Donald C Harwood, Architect PLLC

Date: 3.6.18

By: 

License #: SC #7368

Its: Member, Project Architect